

Northville DDA Economic Development Committee

Tuesday, July 21, 2020 – 8:00 am

Via Zoom Meeting



The meeting will be held via video conference in compliance with Executive Order 2020-75, issued by Michigan Governor Whitmer, temporary authorization of remote participation in public meetings and hearings. Members of the public body and members of the public participating electronically will be considered present at the meeting and may participate as if physically present at the meeting.

The following is a link to attend the meeting: [https://us02web.zoom.us/j/8689543505213126266799 US](https://us02web.zoom.us/j/8689543505213126266799US) (Chicago) Meeting ID: 868 9543 5052

Log in Instructions, Meeting Rules and Tips are available on the City's website at this link: <https://www.ci.northville.mi.us/cms/One.aspx?portalId=11895963&pageId=13505469#pc> OR from the main Home page, click on the Government tab, then Agendas and Minutes, scroll to the Downtown Development Authority section of the webpage, and scroll down to the link for this meeting. "Zoom Webinar User Guide for City of Northville Public" is also available on this website page."

Meeting Agenda

1. Public Comment
2. 150 – 156 N. Center Street – Presentation by Robert Miller (Attachment 2)
3. Social District Update (Attachment 3)
4. Master Plan Update - Carol Maise (Attachment 4)
5. Next Meeting - TBD



June 22, 2020

**Planning Commission
City of Northville, Michigan
Commission Members**

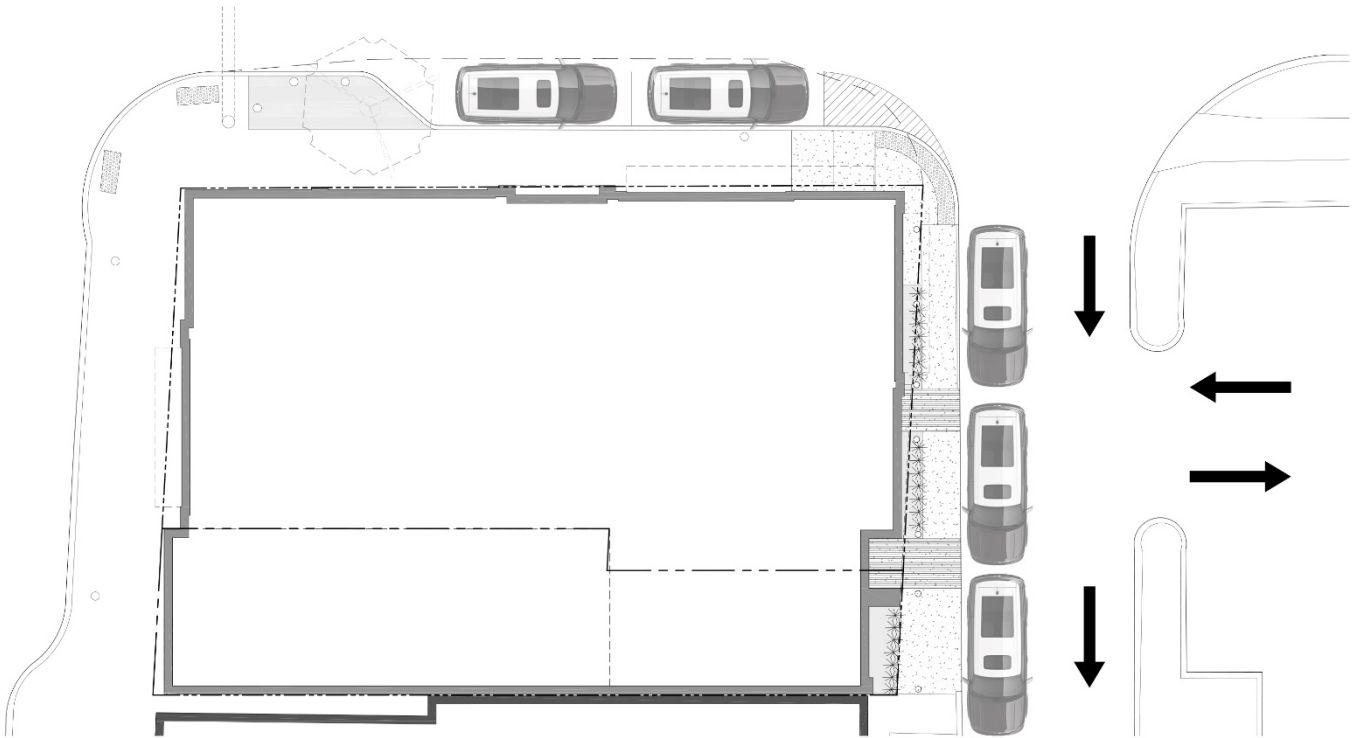
Re: 150 / 156 North Center Street
Northville, Michigan
HDC Conceptual Review

Dear Commission Members:

We are very excited to be presenting to you at your next Planning Commission meeting to further our discussion of the proposed project and, hopefully, obtain your approval of the final site plan. We are providing the following information to address a few of the comments from the review letter provided by Sally Elmiger of Carlisle Wortman, dated May 28, 2020.

1. *Hours of operation for the proposed restaurant:*
We have provided this information on the project cover sheet.
2. *How will trash be handled?*
All trash will be placed in the existing receptacles located in the parking lot, currently used by the existing building tenants and maintained by the DDA.
3. *Consider ways to add more pedestrian amenities:*
We have added bicycle racks and benches to the proposed site plan, all of which will be per the DDA's guidelines and coordinated with them for final design and placement.
4. *Combine units 3 and 4 to create a unit of adequate size or obtain a variance.*
We have combined the units into a single unit.
5. *Provide photometric for exterior lighting:*
We have provided a site photometric showing the footcandles along the property line for the proposed building mounted accent lights. A cut sheet of the lights has been provided as well.

Additionally, per the review letter and our discussion at the June 1 planning commission meeting there was a great deal of discussion regarding the loading zone proposed location, and the parking requirements for the project. We have submitted the final drawings with the loading zone located in the rear of the building, where the current loading area is for the Tuscan building. However, it is the intentions of the project developer to work with the City of Northville and the Downtown Development Authority to work through the existing parking drive lane and loading areas behind the project, and the adjacent buildings. The DDA's Parking Committee has met and has begun discussions about creating a one-way in scenario at the existing parking lot access on Dunlap Street. This will create an open lane along the rear of the buildings that can be used for loading and unloading, and after certain hours of the day can be used for parking by changing the use of the lane to new parking spaces, which could be up to (3) spaces behind the proposed new building alone. The following image is an illustration for the concept:



Additionally we are still proposing to provide (2) on-street parking spaces on Dunlap Street in front of the new building. As such, with the project requesting 10.8 parking credits for the residential uses it should be understood that the developer is also working to create new parking spaces for the city, even though they cannot be used specifically for their project, and to assist them in finding solutions for the existing loading/unloading and parking lot traffic congestion. We hope this effort is viewed favorably.

We hope this information, along with the submitted drawings, helps better your understanding of the project. We will prepare a full presentation for the meeting and truly look forward to our discussion and to the potential this project has for the City of Northville!

Sincerely,

A handwritten signature in blue ink, appearing to read "Robert E. Miller".

Robert E Miller, aia
Principal
M Architects

Greg Presley
Principal
Presley Architecture

UMT-31396

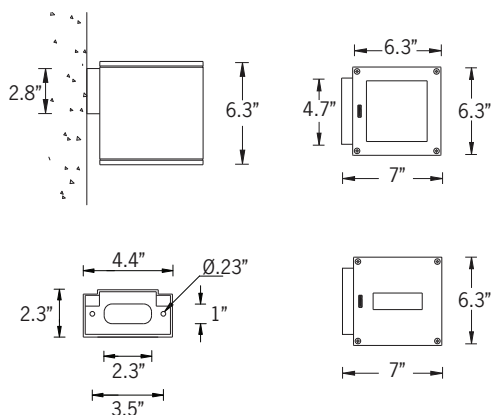
Matrix 1 Surface

7144 NE Progress Ct | T:503.645.0500
Hillsboro, Oregon 97124 | F:503.645.8100
www.ligmanlightingusa.com

LIGMAN
LIGHTING USA

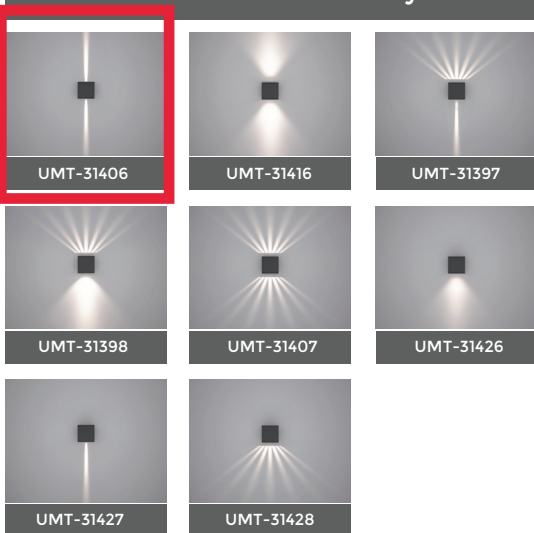


6/14w COB 1128 Lumens Down, 80 Lumens Up
IP65 • Suitable For Wet Locations
IK07 • Impact Resistant
Weight 4.6 lbs



Mounting Detail

Matrix Product Family



Construction

Aluminum

Less than 0.1% copper content – Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

Pre paint

8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket

Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management

LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression

Standard 10kv surge suppressor provided with all fixtures.

BUG Rating

B1 - U3 - G0

Finishing

All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint

UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

Hardware

Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes

Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Crystal Clear Low Iron Glass Lens

Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

Optics & LED

Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

Lumen - Maintenance Life

L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

Square surface wall-mounted architectural lighting range. Family of lighting effects sanctioning imagination and inspiration to reign in designs.

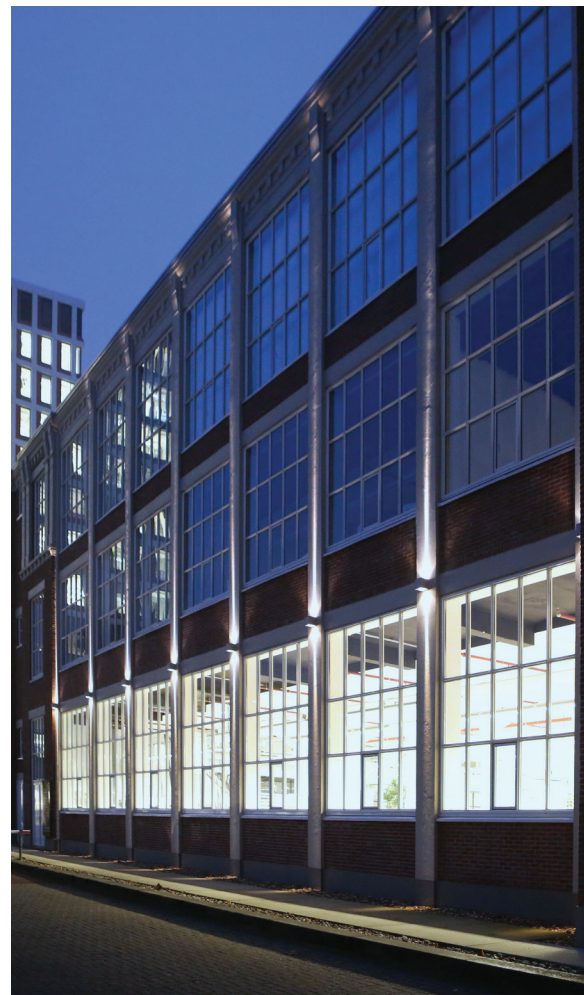
A small profile wall mounted compact cubic luminaire with up and downward light distributions. The Matrix is designed with five light distribution options, namely narrow, medium, wide, very wide and spike.

The Matrix uses high efficiency, long life LEDs and is designed to illuminate the wall and surfaces in front of the wall, as well as light accents on vertical and horizontal surfaces. The Matrix is suitable for indoor and outdoor applications.

This luminaire is available with decorative spikes and can be used with various combinations of light distribution optics.

This luminaire can be mounted at different angles to produce interesting decorative lighting effects on the side of the building facade.

The standard Matrix is designed to mount over a 3" octagonal j-box, a 4" j-box cover plate is available upon request.



DO NOT SCALE DRAWINGS; USE NOTED DIMENSIONS ONLY.

THIS DRAWING IS THE PROPERTY OF M ARCHITECTS. UNAUTHORIZED USE OF ANY KIND, INCLUDING USE ON OTHER PROJECTS, IS PROHIBITED.

150-156 NORTH CENTER STREET NEW BUILDING AND BUILDING ADDITION

NORTHVILLE, MICHIGAN

Owner |
156 N Center LLC
42300 West Nine Mile Road
Novi, Michigan 48375
248 | 349 | 1009

Architect
M Architects
114 Rayson Street
Suite 2C
Northville, Michigan 48167
248 | 349 | 2708

Civil Engineer |
Zeimet Wozniak & Associates
55800 Grand River
Suite 100
New Hudson, Michigan 48165
248 | 437 | 5099

PARKING CALCULATIONS - EXISTING					
USE	PARKING REQUIREMENTS	USE AREA	CALCULATION	TOTAL SPACES REQUIRED	EXISTING PARKING SPACES
RESTAURANT	1 space / 150 sqft	150 N CENTER (TUSCAN CAFE): 1,505 sqft 156 N CENTER: 0	1,505 / 150 = 10 SPACES	21.5 SPACES	150 N CENTER: 9.0 SPACES PREVIOUSLY PURCHASED BY BUILDING OWNER 156 N CENTER: 4.0 SPACES ON SITE (THESE WILL BE REMOVED) 10.2 SPACES PREVIOUSLY PURCHASED BY BUILDING OWNER TOTAL EXISTING: 23.2 SPACES
RESIDENTIAL	1 space / Bedroom	150 N CENTER: (3) TOTAL BEDROOMS 156 N CENTER: 0	3 * 1 = 3 SPACES		
OFFICE	1 space / 250 sqft	150 N CENTER: 0 156 N CENTER: 2,105 sqft	2,105 / 250 = 8.5 SPACES		

PARKING CALCULATIONS - PROPOSED					
USE	PARKING REQUIREMENTS	USE AREA	CALCULATION	TOTAL SPACES REQUIRED	PARKING SPACES PROVIDED
RESTAURANT	1 space / 150 sqft	150-156 N CENTER: 3,525 sqft (NEW RESTAURANT 2,434 sqft / NEW TUSCAN 1,091 sqft)	3,525 / 150 = 23.5 SPACES	23.5 + 12 = 35.5 SPACES	EXISTING PARKING CREDITS: 24.2 SPACES THEREFORE, 10.8 PARKING SPACES WILL REQUIRE CASH IN LIEU.
RESIDENTIAL	1 space / Bedroom # of Bedrooms / Flex Rooms	FIRST FLOOR SECOND FLOOR THIRD FLOOR TOTAL - 6 6 12	12 * 1 = 12 SPACES		

PROJECT INFORMATION - EXISTING															
ZONING	EXISTING LAND USE	EXISTING LOT SIZE		EXISTING LOT COVERAGE	EXISTING BUILDING SIZE					EXISTING BUILDING USE			EXISTING F.A.R.		
CBD	COMMERCIAL / RESIDENTIAL	150 N CENTER: 1,588 sqft (.036 ACRES) 156 N CENTER: 3,795 sqft (.087 ACRES)		150 N CENTER: 94.7% 156 N CENTER: 55.4%		FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	BUILDING TOTAL	BUILDING FOOTPRINT		FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	BUILDING / LOT
		PROJECT TOTAL: 5,383 sqft (.123 ACRES)		150 N CENTER:	1,505 sqft	1,216 sqft	-	2,721 sqft	1,505 sqft	150 N CENTER:	RESTAURANT	RESIDENTIAL	-	150 N CENTER:	2721 / 1588 = 1.71
					156 N CENTER:	2,105 sqft	-	-	2,105 sqft	2,105 sqft	156 N CENTER:	OFFICE	-	-	156 N CENTER:
PROJECT INFORMATION - PROPOSED															
ZONING	PROPOSED LAND USE	LOT SIZE		PROPOSED LOT COVERAGE	PROPOSED BUILDING SIZE					PROPOSED BUILDING USE			PROPOSED F.A.R.		
CBD - SEE INFO BELOW	COMMERCIAL / RESIDENTIAL	PROJECT TOTAL: 5,383 sqft (.123 ACRES)		150-156 N CENTER: 95.5%		FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	BUILDING TOTAL	BUILDING FOOTPRINT		FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	BUILDING / LOT
				150-156 N CENTER:	5,142 sqft	5,138 sqft	4,764 sqft	15,044 sqft	5,142 sqft	150-156 N CENTER:	RESTAURANT	RESIDENTIAL	RESIDENTIAL	150-156 N CENTER:	15,044 / 5,383 = 2.79
ZONING REGULATIONS	MIN. LOT SIZE				MAX. BUILDING HEIGHT	MINIMUM YARD SETBACK		MAXIMUM FLOOR AREA RATIO	MINIMUM LANDSCAPE AREA	MAXIMUM LOT COVERAGE	MINIMUM FLOOR AREA	PROPOSED FOOTNOTES			
REQUIRED	AREA	WIDTH	STORIES	FEET	FRONT	LEAST SIDE	TOTAL	REAR	3.0	N/A	N/A	N/A	(a) PROPOSED BUILDING HEIGHT IS MEASURED TO THE FLAT ROOF ELEVATION. THE TOWER ELEMENT IS 41'-6"; THE HEIGHT TO THE TALLEST PARAPET IS 39'-4"; THE HEIGHT TO THE TOP OF THE ELEVATOR/STAIR TOWER IS 43'-8". (b) THE PROJECT IS SEEKING PLANNING COMMISSION APPROVAL FOR A ZERO (0) REAR YARD SETBACK, AS THE PROJECT PROPOSES TO UTILIZE A NEWLY CONSTRUCTED DROP OFF AND LOADING ZONE ALONG DUNLAP STREET. THE INTENTION OF THIS ZONE IS TO REDUCE TRAFFIC IN THE EXISTING PARKING LOT.		
PROPOSED	N/A	N/A	3	34'-6" (a)	N/A	N/A	N/A	0' (b)	2.79						

UNIT CALCULATIONS					
FLOOR	UNIT #	UNIT AREA	# BEDROOMS	# FLEX ROOMS	
2	1	1,341 sqft	2	0	
2	2	1,139 sqft	1	1	
2	3	1,510 sqft	2	0	
3	4	1,341 sqft	2	0	
3	5	1,139 sqft	1	1	
3	6	1,195 sqft	1	1	
TOTALS	7	7,334 sqft	9	3	

PROPOSED RESTAURANT HOURS OF OPERATION						
SUNDAY	MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY
CLOSED	4-10	4-10	4-10	4-10	4-11	4-11

NOTE:
ALL TRASH TO BE COLLECTED WITHIN THE BUILDING AND TAKEN TO THE EXISTING DUMPSTERS LOCATED IN THE PARKING LOT.

DRAWING SHEET INDEX

COVER SHEET		C1.0
BOUNDARY AND TOPOGRAPHIC SURVEY	S-1	
SITE PREPARATION PLAN	S-2	
SITE GRADING PLAN	S-3	
SITE UTILITY PLAN	S-4	
NOTES AND DETAILS	S-5	
EXISTING PHOTOGRAPHS	A100	
ARCHITECTURAL SITE PLAN	A101	
FIRST LEVEL FLOOR PLAN	A102	
SECOND LEVEL FLOOR PLAN	A103	
THIRD LEVEL FLOOR PLAN	A104	
ROOF PLAN	A105	
EXISTING EXTERIOR ELEVATIONS	A301	
PROPOSED EXTERIOR ELEVATIONS	A302	
PROPOSED EXTERIOR ELEVATIONS	A303	
PROPOSED EXTERIOR ELEVATIONS	A304	
PROPOSED EXTERIOR ELEVATIONS	A305	
RENDERINGS	A306	
PHOTOMETRIC PLAN	L201	



LOCATION MAP
NO SCALE

ISSUE DATE

05-10-2020 P.C. REVIEW
05-17-2020 H.D.C. REVIEW
06-22-2020 P.C. REVIEW

NOT FOR CONSTRUCTION

PRESLEY ARCHITECTURE

108 N CENTER ST., SUITE 205 NORTHVILLE, MI 48167
P. 248.348.1124. F. 248.348.9300 E. gpresley@comcast.net

M
ARCHITECTS
114 RAYSON STREET
SUITE 2C
NORTHVILLE, MICHIGAN
48167
PHONE 248.349.2708
marchitect.com

PROJECT
NEW BUILDING AND
BUILDING ADDITION
at
150 / 156 North Center Street
Northville, MI 48167

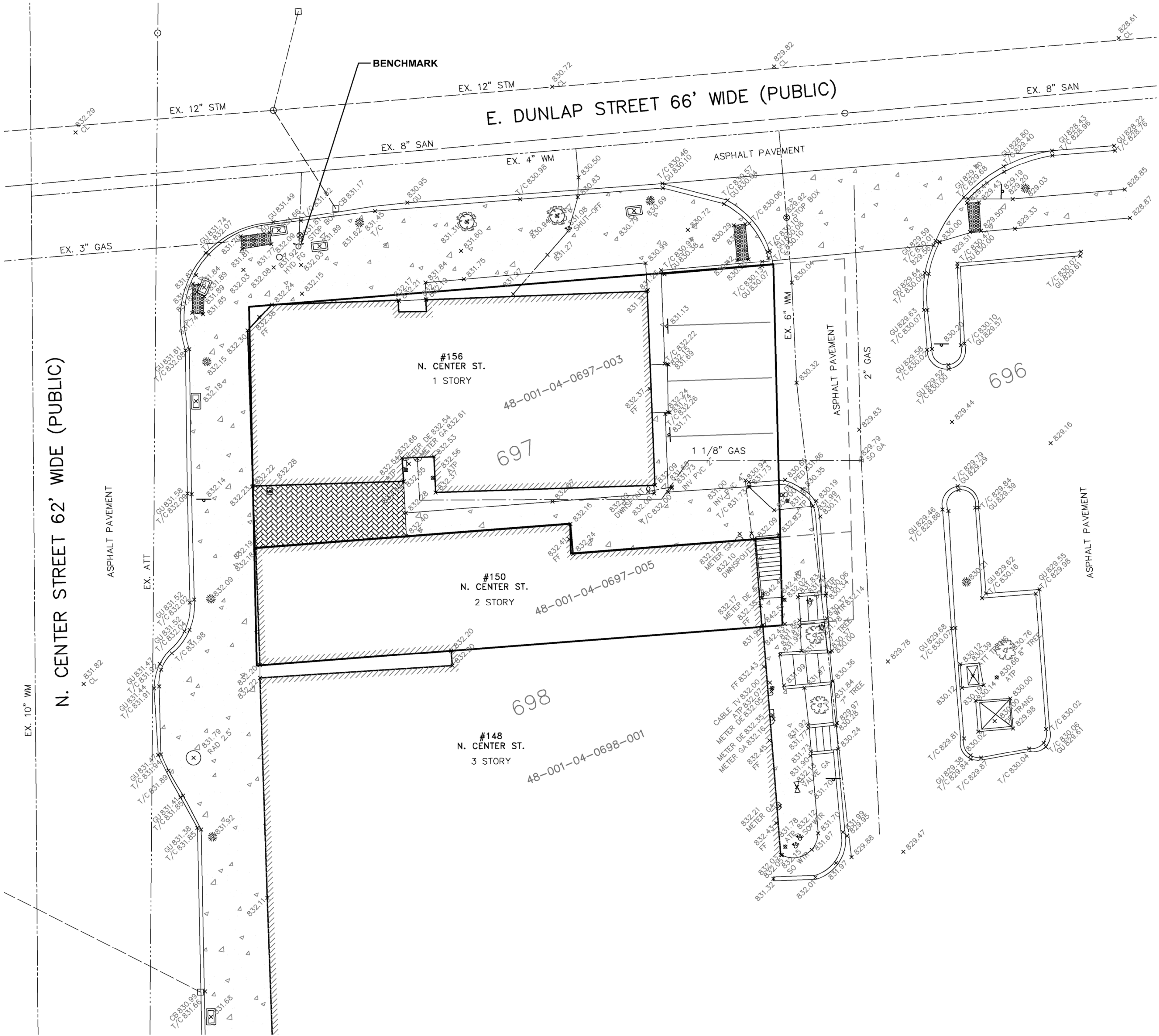
PROJECT ADDRESS
150 / 156 North Center Street
Northville, MI 48167

PROJECT NUMBER
19.18

SHEET NAME
COVER SHEET

SHEET NUMBER
C1.0

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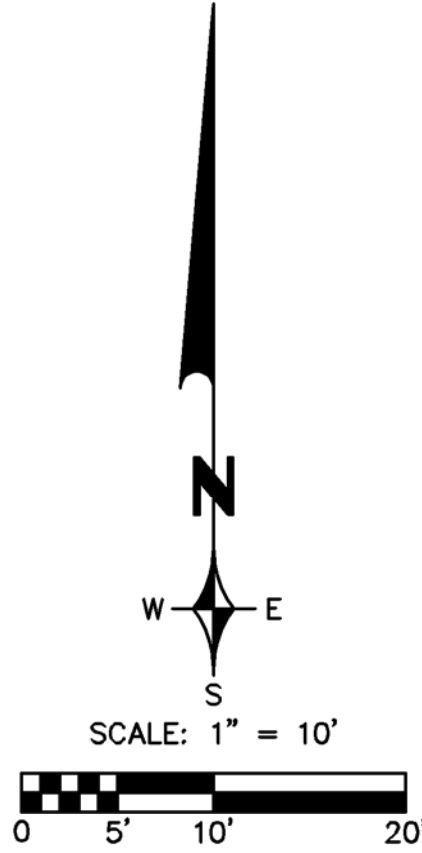
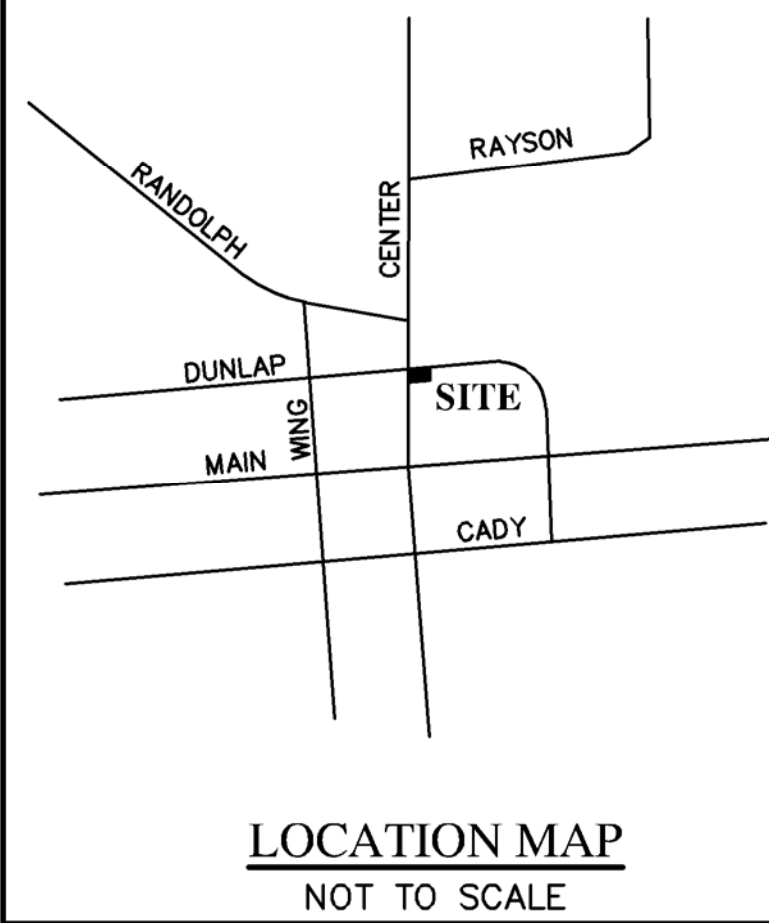


NOTES:

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.
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- DESIGN PROFESSIONAL AND CLIENT WARRANT THAT IN TRANSMITTING INSTRUMENTS OF SERVICE, OR ANY OTHER INFORMATION, THE TRANSMITTING PARTY IS THE COPYRIGHT OWNER OF SUCH INFORMATION OR HAS PERMISSION FROM THE COPYRIGHT OWNER TO TRANSMIT SUCH INFORMATION FOR ITS USE OF THE PROJECT. IF THE CLIENT AND DESIGN PROFESSIONAL INTEND TO TRANSMIT INSTRUMENTS OF SERVICE OR ANY OTHER INFORMATION OR DOCUMENTATION IN DIGITAL FORM, THEY SHALL ENDEAVOR TO ESTABLISH NECESSARY PROTOCOLS GOVERNING SUCH TRANSMISSIONS.

BENCHMARK:

ARROW ON HYDRANT
AT SOUTHWEST CORNER
OF N. CENTER STREET
AND E. DUNLAP STREET
ELEVATION: 834.24
USGS DATUM



LEGEND

- BOUNDARY LINE
- PARCEL LINE
- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- GAS MAIN
- ELECTRIC CABLE
- CATCH BASIN
- ROOF DRAIN
- GATE VALVE
- HYDRANT
- WATER SHUT-OFF
- LIGHT POLE
- SIGN
- TREE
- CL CENTERLINE
- FF FINISH FLOOR
- T/C TOP OF CURB
- GU GUTTER
- +100.00 SPOT ELEVATION

PARCEL 48-001-04-0697-003
LEGAL DESCRIPTION

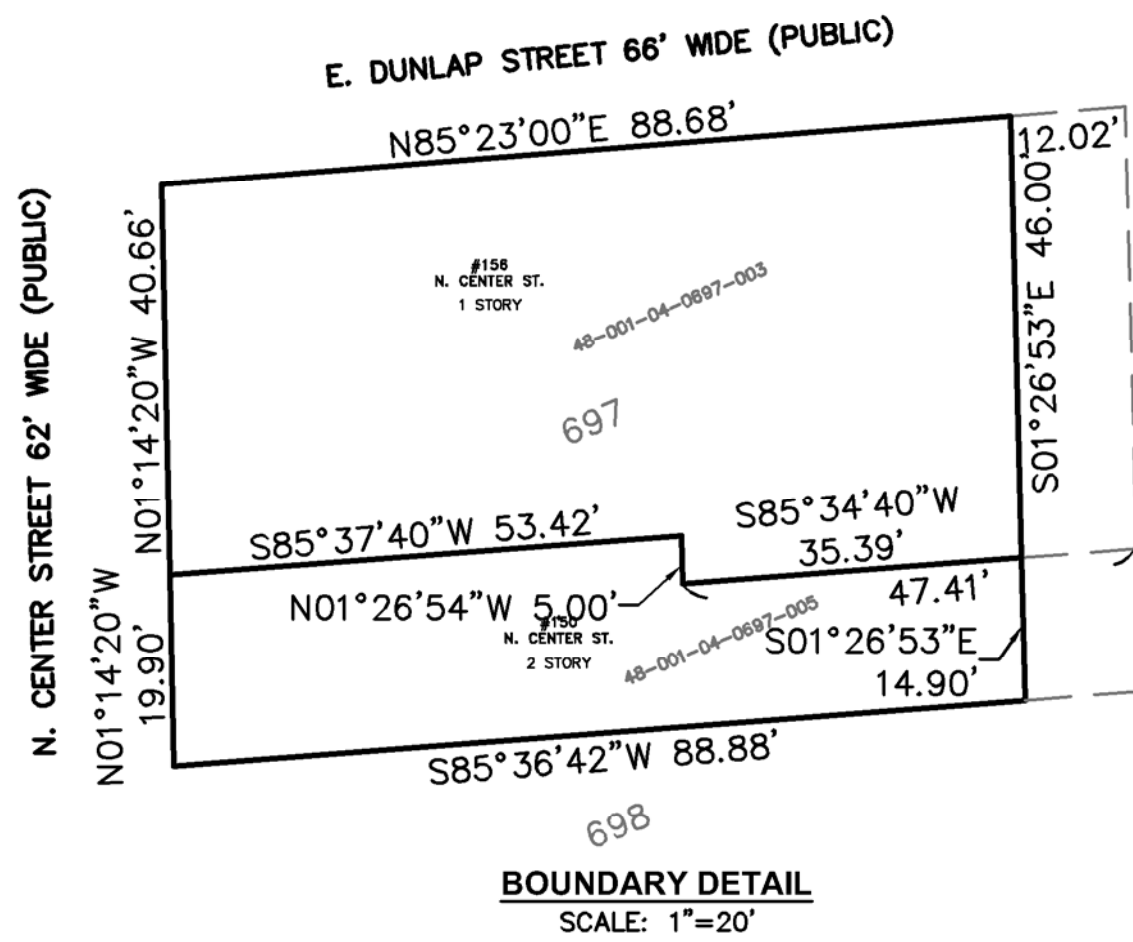
A PARCEL OF LAND LOCATED IN THE N.E. 1/4 OF SECTION 3, T. 1 S., R. 8 E., CITY OF NORTHVILLE, WAYNE COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBES AS:

PART OF LOT 697 OF ASSESSOR'S NORTHVILLE PLAT NO. 7 OF BLOCKS 9, 10 AND 11 OF PLAT OF THE VILLAGE OF NORTHVILLE, AS RECORDED IN LIBER 66 OF PLATS, PAGE 47, WAYNE COUNTY RECORDS, BEING MORE PARTICULARLY DESCRIBED AS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 697; THENCE NORTH 85°23'00" EAST 88.68 FEET ALONG THE NORTH LINE OF SAID LOT 697, SAID LINE ALSO BEGIN THE SOUTH LINE OF DUNLAP STREET (66 FEET WIDE); THENCE SOUTH 01°26'54" EAST 46.00 FEET; THENCE SOUTH 85°34'40" WEST 35.39 FEET; THENCE NORTH 01°26'54" WEST 5.00 FEET; THENCE SOUTH 85°34'40" WEST 53.42 FEET TO A POINT ON THE EAST LINE OF NORTH CENTER STREET (62 FEET WIDE); AND THENCE NORTH 01°14'20" WEST 40.66 FEET ALONG THE WEST LINE OF SAID LOT 697, SAID LINE ALSO BEING SAID EAST LINE OF NORTH CENTER STREET (62 FEET WIDE) TO THE POINT OF BEGINNING.

PARCEL 48-001-04-0697-005
LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE N.E. 1/4 OF SECTION 3, T. 1 S., R. 8 E., CITY OF NORTHVILLE, WAYNE COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBES AS:

THE SOUTH 19.90 FEET OF THE WEST 53.42 FEET OF LOT 697, AND THE SOUTH 14.90 OF THE EAST 47.71 FEET OF LOT 697, EXCEPT THE EAST 12 FEET THEREOF, OF ASSESSOR'S NORTHVILLE PLAT NO. 7, OF BLOCKS 9, 10 AND 11 AS RECORDED IN LIBER 66 OF PLATS, PAGE 47, WAYNE COUNTY RECORDS.



REVISIONS	DATE	BY	REVISIONS	DATE	BY	REVISIONS	DATE	BY	REVISIONS	DATE	BY
PC REVIEW	6/22/2020										

ZEIMET WOZNIAK & ASSOCIATES
Civil Engineers & Land Surveyors
55800 GRAND RIVER AVE., SUITE 100
NEW HUDSON, MICHIGAN 48165
P: (248) 437-5099 F: (248) 437-5222 www.zeimetwoznia.com

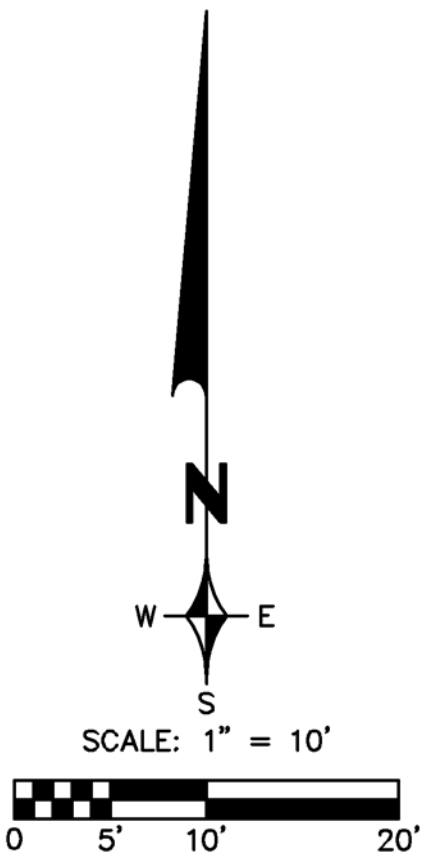
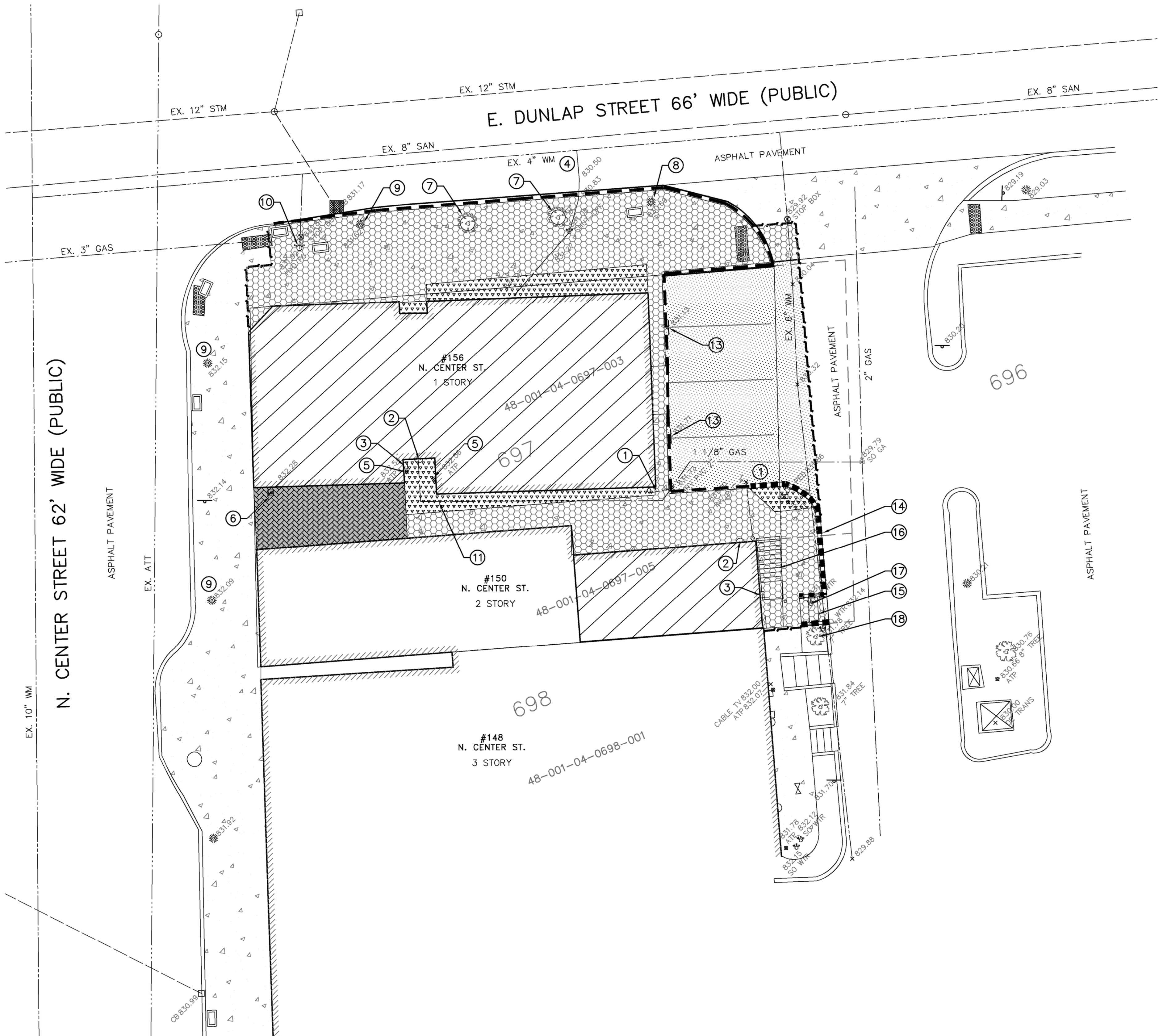
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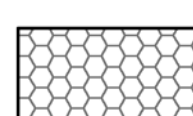





EXISTING CONDITIONS
156 N. CENTER STREET
NORTHVILLE, MICHIGAN

DATE 3/17/20	SCALE HOR: 1" = 10' VER: 1" = N/A
DESIGNED BY SRB	JOB NO. 19125
DRAWN BY SRB	SHEET S-1

© COPYRIGHT 2020



REMOVALS LEGEND:

-  REMOVE BUILDING AND FOUNDATION
-  REMOVE EXISTING BRICK PAVERS
-  REMOVE EXISTING ASPHALT PAVEMENT AND BASE
-  REMOVE EXISTING CONCRETE
-  REMOVE EXISTING LANDSCAPING/VEGETATION
-  REMOVE EXISTING CURB AND GUTTER
-  REMOVE EXISTING WALL
-  FULL DEPTH SAWCUT (EXACT LIMITS TO BE DETERMINED IN FIELD)
-  INLET FILTER (SILT SACK)

NOTE KEY:

1. REMOVE EXISTING PVC PIPE.
2. REMOVE EXISTING GAS METER. (COORDINATE WITH GAS COMPANY)
3. REMOVE EXISTING ELECTRIC METER. (COORDINATE WITH ELECTRIC COMPANY)
4. CUT AND CAP EXISTING WATER SERVICE AT SHUT-OFF. (COORDINATE WITH CITY DPW)
5. REMOVE EXISTING PEDESTAL. (COORDINATE WITH UTILITY COMPANY)
6. REMOVE/RELOCATE EXISTING MAILBOX. (COORDINATE WITH POSTAL SERVICE)
7. REMOVE EXISTING TREE, ROOTS, STUMP AND WELL.
8. REMOVE EXISTING LIGHT POLE, ELECTRICAL BOX AND BASE.
9. PROTECT EXISTING LIGHT POLE THROUGHOUT CONSTRUCTION.
10. PROTECT EXISTING HYDRANT THROUGHOUT CONSTRUCTION.
11. REMOVE EXISTING GAS SERVICE. CUT AND CAP AT MAIN.
12. LOCATION OF EXISTING SANITARY SERVICE IS UNKNOWN. CONTRACTOR TO LOCATE IN FIELD AND CUT CAP SERVICE OUTSIDE OF PROPOSED BUILDING LIMITS.
13. REMOVE EXISTING SIGN AND POST.
14. REMOVE EXISTING WALL.
15. REMOVE EXISTING STEPS.
16. REMOVE EXISTING STAIRWAY.
17. ADJUST EXISTING SHUT-OFF TO PROPOSED GRADE.
18. PROTECT EXISTING TREE THROUGHOUT CONSTRUCTION.



NOTES:

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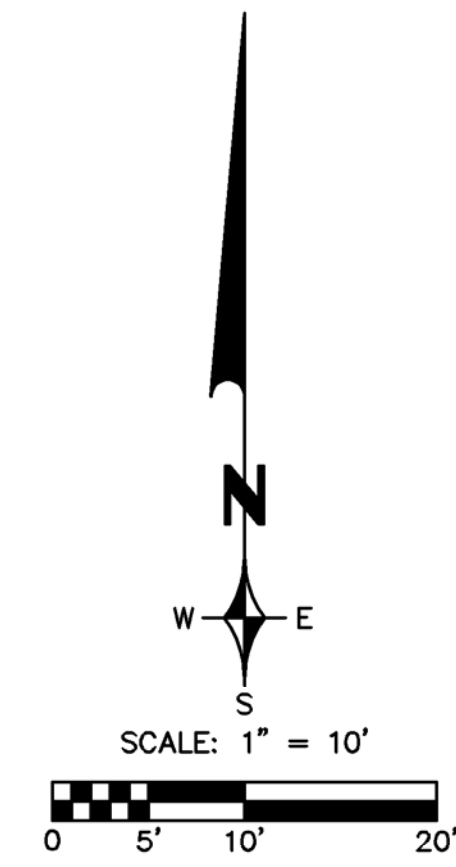
REVISIONS	DATE	BY	REVISIONS	DATE	BY	REVISIONS	DATE	BY	REVISIONS	DATE	BY
PC REVIEW	6/22/2020										
















































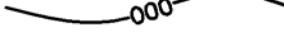
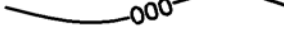






























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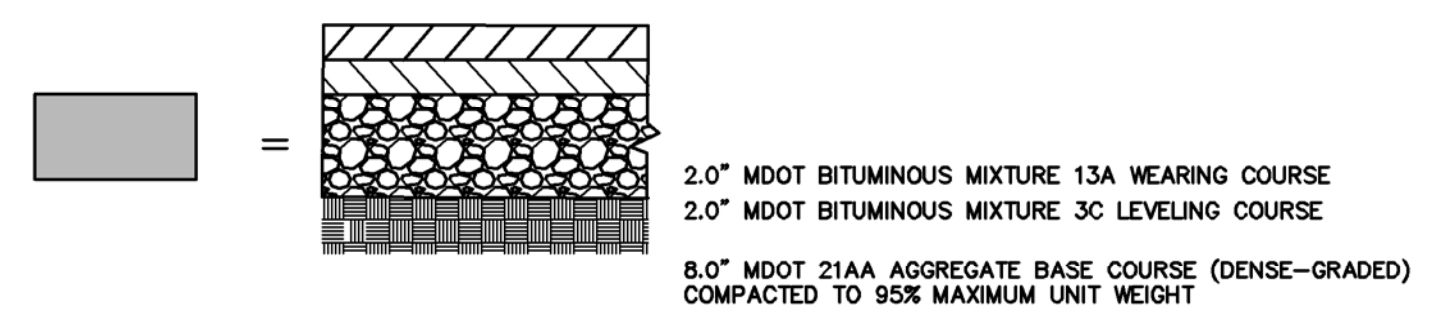
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SITE PREPARATION PLAN		DATE	3/17/20	SCALE	HOR: 1" = 10'
156 N. CENTER STREET		DESIGNED BY	SRB	VER:	1" = N/A
NORTHVILLE, MICHIGAN		JOB NO.	19125		
		DRAWN BY	SRB	SHEET	S-2

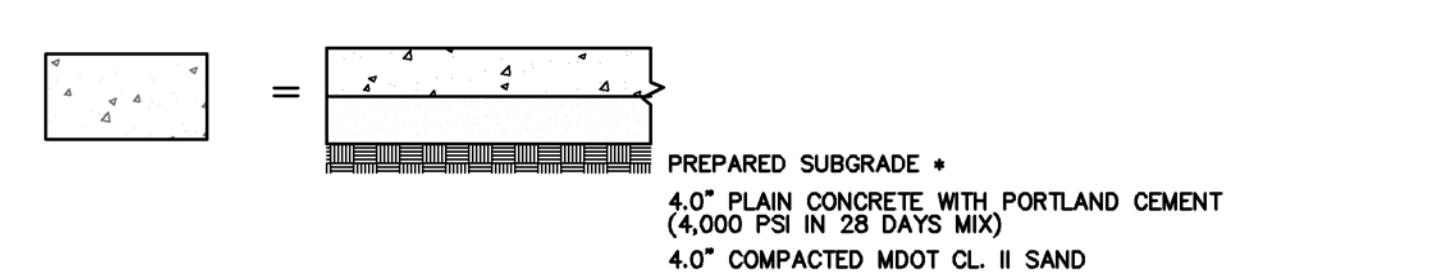


EXISTING	LEGEND	PROPOSED
 MANHOLE	 MANHOLE	 MANHOLE
 CATCH BASIN	 CATCH BASIN	 CATCH BASIN
 INLET	 INLET	 INLET
 CLEANOUT	 CLEANOUT	 CLEANOUT
 END SECTION	 END SECTION	 END SECTION
 ROOF DRAIN	 ROOF DRAIN	 ROOF DRAIN
 GATE VALVE	 GATE VALVE	 GATE VALVE
 HYDRANT	 HYDRANT	 HYDRANT
 WATER SHUT-OFF	 WATER SHUT-OFF	 WATER SHUT-OFF
 UTILITY POLE	 TREE REMOVAL	 TREE REMOVAL
 GUY ANCHOR		
 LIGHT POLE	 SANITARY SEWER	 SANITARY SEWER
 SIGN	 STORM SEWER	 STORM SEWER
 TREE	 WATER MAIN	 WATER MAIN
 TREE LINE	 DITCH	 DITCH
 SANITARY SEWER	 CONTOUR MAJOR	 CONTOUR MAJOR
 STORM SEWER	 CONTOUR MINOR	 CONTOUR MINOR
 WATER MAIN	 PROPOSED GRADE	 PROPOSED GRADE
 GAS MAIN		
 ELECTRIC CABLE	 TOP OF CURB	 TOP OF CURB
 CONTOUR MAJOR	 TOP OF WALK	 TOP OF WALK
 CONTOUR MINOR	 TOP OF PAVEMENT	 TOP OF PAVEMENT
 SPOT ELEVATION	 TOP OF BANK	 TOP OF BANK
	 G = GROUND	 G = GROUND
	 D = DITCH	 D = DITCH
	 GU = GUTTER	 GU = GUTTER
	 FG = FINISH GRADE	 FG = FINISH GRADE
	 FF = FINISH FLOOR	 FF = FINISH FLOOR
	 BF = BASEMENT FLOOR	 BF = BASEMENT FLOOR
	 BL = BRICK LEDGE	 BL = BRICK LEDGE

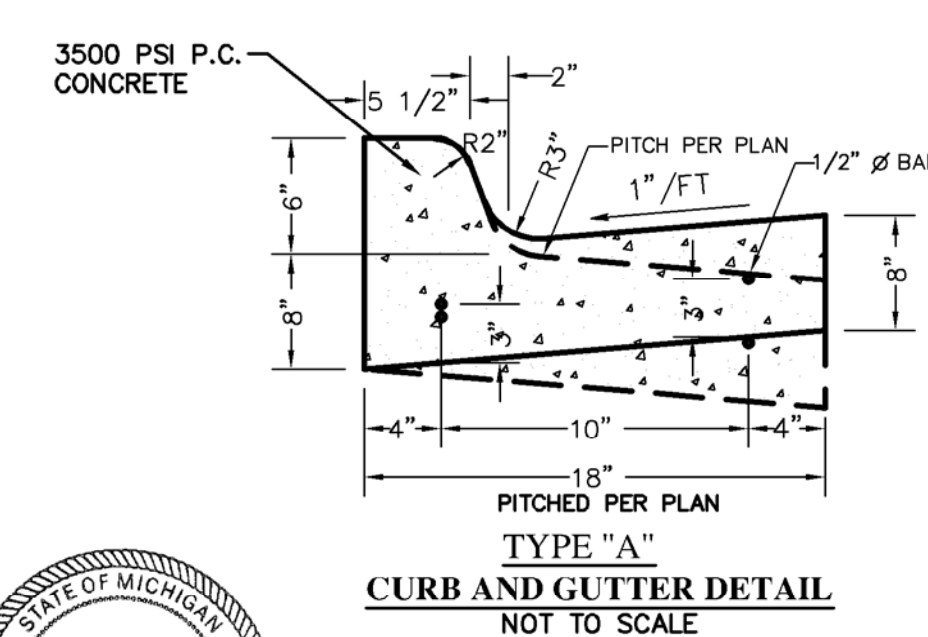
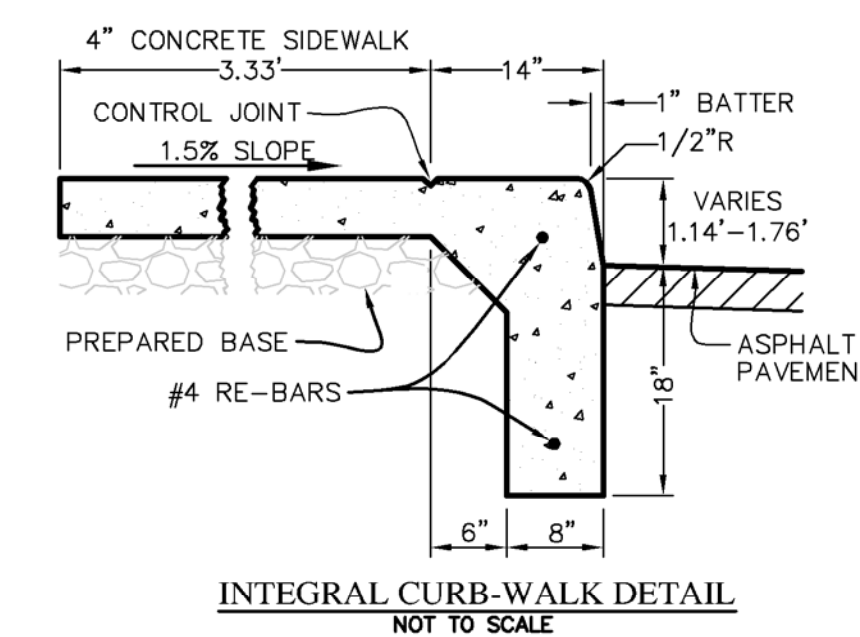
PAVING LEGEND:



PROPOSED BITUMINOUS PARKING LOT AND DRIVES



PROPOSED REGULAR CONCRETE PAVEMENT/WALK




NOTES:

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF ANY SUCH DAMAGE OCCURS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTMENT OF ALL STRUCTURES, KNOWN OR UNKNOWN, SHOWN OR UNOWN, LOCATED WITHIN THE LIMITS OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE AND SUCH ADJUSTMENTS ARE INDICATED. COSTS ASSOCIATED WITH SUCH ADJUSTMENTS AND SUCH STRUCTURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. DESIGN PROFESSIONAL AND CLIENT WARRANT THAT IN TRANSMITTING INSTRUMENTS OF SERVICE OR ANY OTHER INFORMATION TO THE CONTRACTOR, THE CONTRACTOR HAS THE PERMISSION OF THE OWNER OF SUCH INFORMATION OR HAS PERMISSION FROM THE COPYRIGHT OWNER TO TRANSFER SUCH INFORMATION FOR ITS USE OF THE PROJECT. IF THE CLIENT AND DESIGN PROFESSIONAL INTEND TO TRANSMIT INSTRUMENTS OF SERVICE OR ANY OTHER INFORMATION OR INFORMATION OF ANY KIND TO THE CONTRACTOR, THE CONTRACTOR SHALL ENDEAVOR TO ESTABLISH NECESSARY PROTOCOLS GOVERNING SUCH TRANSMISSIONS.

[illegible]

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SITE GRADING PLAN
156 N. CENTER STREET
NORTHVILLE, MICHIGAN

FIELD BOOK	DATE 3/17/20	SCALE	HOR: 1" = 10' VER: 1" = N/A
	DESIGNED BY SRB	JOB NO.	19125
	DRAWN BY SRB	SHEET	S-3

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GENERAL UTILITY NOTES:

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF NORTHVILLE.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES, WHICH MIGHT AFFECT THIS JOB.
- ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
- WHENEVER EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, DRILL HOLES 4" CENTER TO CENTER, AROUND PERIPHERY OF OPENING TO CREATE A PLANE OF WEAKNESS JOINT BEFORE BREAKING SECTION OUT.
- EXACT GRADES AND DEPTHS OF UTILITIES ARE TO BE CHECKED CLOSELY PRIOR TO INSTALLATION.
- REFER TO CITY OF NORTHVILLE STANDARD DETAIL SHEETS FOR ADDITIONAL INFORMATION.

SANITARY SEWER NOTES:

- DOWNSPOUTS, WEEP TILE, FOOTING DRAINS OR ANY CONDUIT THAT CARRIES STORM OR GROUND WATER SHALL NOT BE ALLOWED TO DISCHARGE INTO A SANITARY SEWER.
- ALL SANITARY LEADS SHALL BE CONSTRUCTED OF PVC SDR 23.5 AT 1.00% MINIMUM SLOPE WITH A MINIMUM DIAMETER OF 6 INCHES.
- ALL SANITARY SEWER MAIN SHALL BE CONSIDERED OF SDR 26 PIPE WITH A MINIMUM DIAMETER OF 8" PER CITY REQUIREMENTS.
- JOINTS FOR P.V.C SOLID WALL PIPE SHALL BE ELASTOMERTRIC (RUBBER GASKET) AS SPECIFIED IN ASTM DESIGNATION D-3212.
- REFER TO CITY OF NORTHVILLE DETAILS FOR PIPE BEDDING DETAILS.
- REFER TO CITY OF NORTHVILLE SANITARY SEWER DETAIL SHEETS FOR ADDITIONAL INFORMATION.

WATER MAIN NOTES:

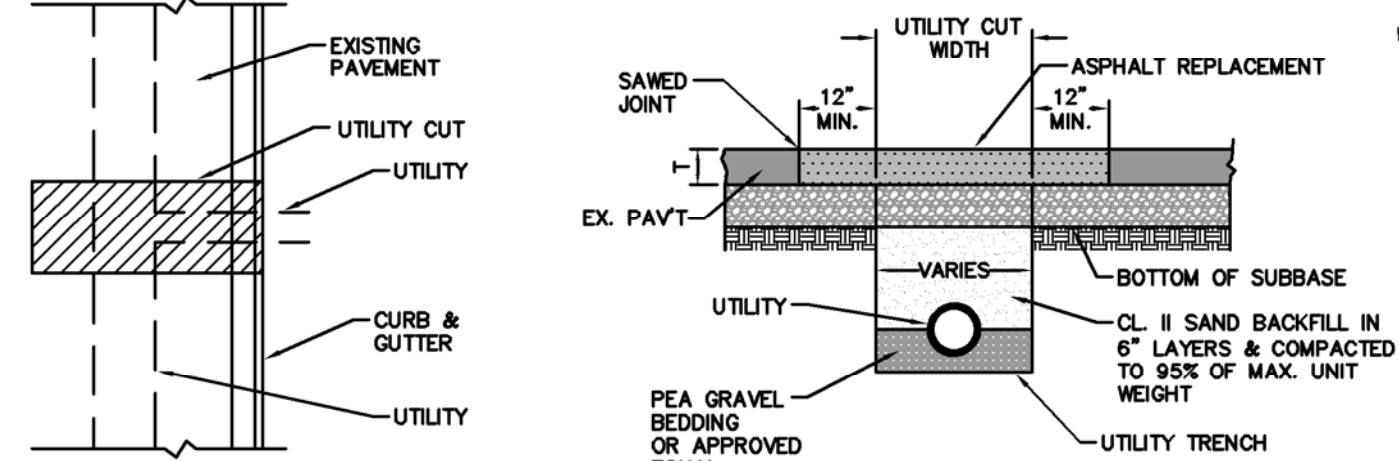
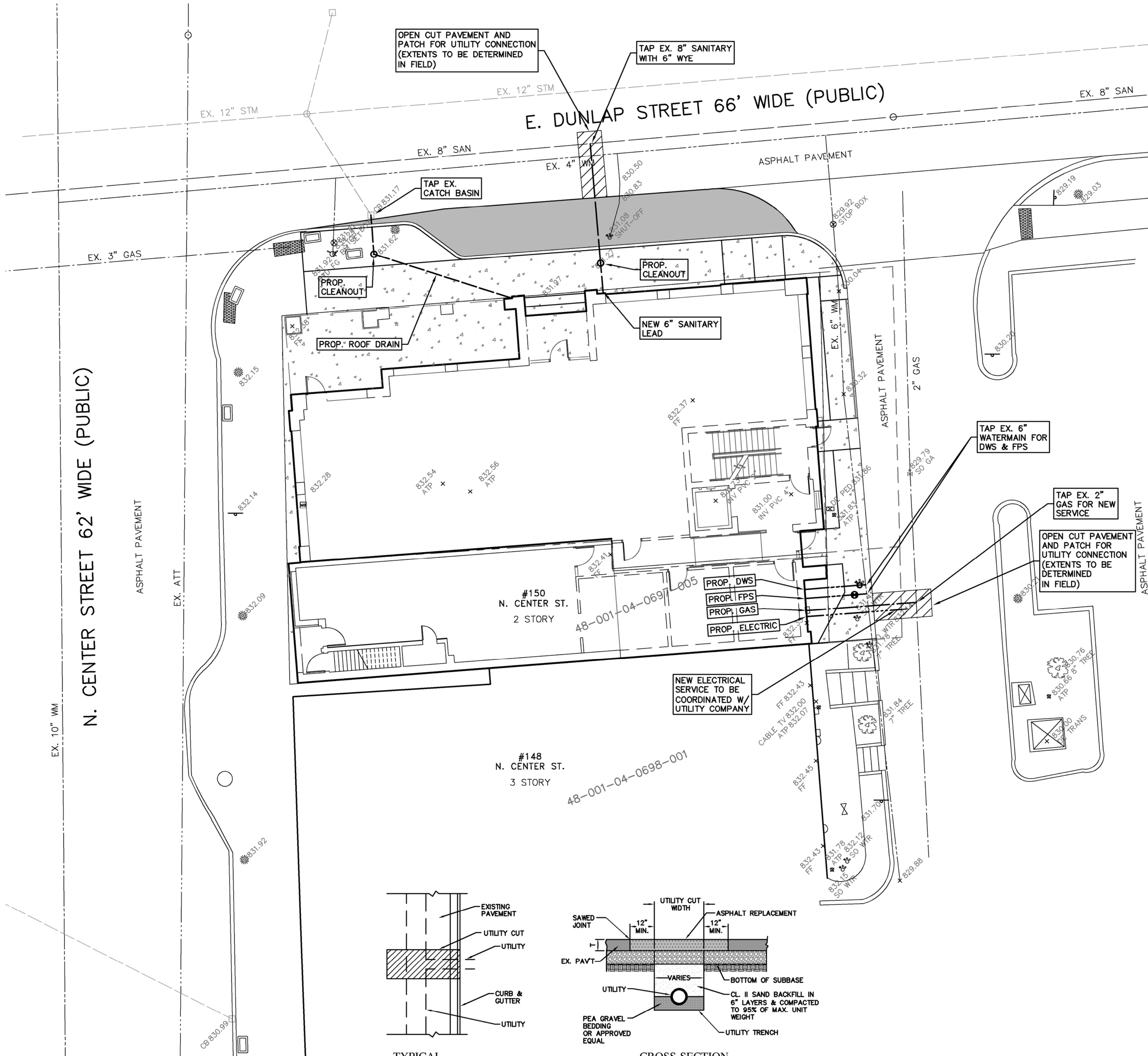
- ALL WATER MAIN SHALL BE INSTALLED WITH A MINIMUM COVER OF 6.0' BELOW FINISH GRADE. WHEN WATER MAINS MUST DIP TO PASS UNDER A STORM SEWER OR SANITARY SEWER, THE SECTIONS WHICH ARE DEEPER THAN NORMAL SHALL BE KEPT TO A MINIMUM LENGTH BY THE USE OF VERTICAL TWENTY TWO AND A HALF (22.5") DEGREE BENDS, PROPERLY ANCHORED.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF NORTHVILLE.
- ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY FIVE (45") DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95%) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
- ALL TEE'S, BENDS, CONNECTIONS, ETC. ARE CONSIDERED INCIDENTAL TO THE JOB.
- PHYSICAL CONNECTIONS SHALL NOT BE MADE BETWEEN EXISTING AND NEW WATER MAINS UNTIL TESTING IS SATISFACTORILY COMPLETED.
- MAINTAIN 10' HORIZONTAL CLEARANCE BETWEEN OUTER EDGE OF WATER MAIN AND ANY SANITARY SEWER OR STRUCTURE.
- ALL WATER MAIN 3 INCHES OR LARGER SHALL BE DUCTILE IRON CLASS 54 WITH POLYETHYLENE WRAP.
- ALL WATER SERVICES SMALLER THAN 3 INCHES SHALL BE TYPE "K" COPPER.
- REFER TO CITY OF NORTHVILLE WATER MAIN DETAIL SHEETS FOR ADDITIONAL INFORMATION.

STORM SEWER NOTES:

- ALL STORM SEWER 12" AND LARGER SHALL BE RCP CLASS IV UNLESS OTHERWISE NOTED. REFER TO CITY OF NORTHVILLE STANDARD DETAILS SHEET FOR STANDARD BEDDING DETAILS.
- JOINTS FOR ALL STORM SEWER 12" AND LARGER SHALL BE MODIFIED TONGUE AND GROOVE JOINT WITH RUBBER GASKETS UNLESS SPECIFIED OTHERWISE (ASTM C-443).
- ALL STORM SEWER LEADS SHALL BE CONSTRUCTED OF PVC SDR 23.5 PIPE AT 1.00% MINIMUM SLOPE WITH GLUED JOINTS, UNLESS OTHERWISE NOTED. REFER TO CITY OF NORTHVILLE DETAILS FOR BEDDING DETAILS.
- REFER TO CITY OF NORTHVILLE STORM SEWER DETAIL SHEETS FOR ADDITIONAL INFORMATION.

NOTES:

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTMENT OF ALL STRUCTURES, KNOWN OR UNKNOWN, SHOWN OR UNSHOWN, LOCATED WITHIN THE LIMITS OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE IF ANY SUCH STRUCTURES ARE IDENTIFIED. ALL COSTS ASSOCIATED WITH LOCATING AND ADJUSTING THESE STRUCTURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- DESIGN PROFESSIONAL AND CLIENT WARRANT THAT IN TRANSMITTING INSTRUMENTS OF SERVICE, OR ANY OTHER INFORMATION, THE TRANSMITTING PARTY IS THE COPYRIGHT OWNER OF SUCH INFORMATION OR HAS PERMISSION FROM THE COPYRIGHT OWNER TO TRANSIT SUCH INFORMATION FOR ITS USE OF THE PROJECT IF THE CLIENT AND DESIGN PROFESSIONAL INTEND TO TRANSMIT INSTRUMENTS OF SERVICE OR ANY OTHER INFORMATION OR DOCUMENTATION IN DIGITAL FORM, THEY SHALL ENDEAVOR TO ESTABLISH NECESSARY PROTOCOLS GOVERNING SUCH TRANSMISSIONS.



NOTES:

- WHERE PAVEMENT REPLACEMENT DOES NOT IMMEDIATELY FOLLOW BACK-FILL OPERATION, A TEMPORARY SURFACING SHALL BE PLACED AS DIRECTED BY THE CITY ENGINEER.
- ASPHALT PAVEMENT SHALL MEET CURRENT M.DOT SPECIFICATIONS.
- WHEN REPLACING PAVEMENT, REPLACE IN KIND AND THICKNESS.
- THE BACKFILL SHALL BE PLACED IN LAYERS NOT TO EXCEED 9" IN THICKNESS, AND COMPACTED WITH A MECHANICALLY OPERATED HAND-HELD VIBRATING OR IMPACT TYPE COMPACTOR. WHEN CONTROLLED DENSITY IS CALLED FOR, BACKFILL AND COMPACTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.
- WHEN THE PATCH IS AGGREGATE AND BITUMINOUS, THE ASPHALTIC MIXTURE SHALL BE #100 OR BETTER. COMPACTION SHALL BE ACCOMPLISHED BY MEANS OF A POWERED ROLLER OR VIBRATORY COMPACTOR.
- WHEN CURB, CURB AND GUTTER, VALLEY GUTTER AND/OR SHOULDERS ARE REMOVED OR DAMAGED AS PART OF THE UTILITY CUT, THEY SHALL BE REPAIRED OR REPLACED IN KIND USING TIE BARS.
- EXCESS EXCAVATED MATERIAL SHALL BE PROMPTLY REMOVED.

UTILITY CUT AND PAVEMENT REPLACEMENT
NOT TO SCALE

UTILITY LEGEND

EXISTING

- MANHOLE
- CATCH BASIN
- INLET
- CLEANOUT
- END SECTION
- ROOF DRAIN
- GATE VALVE
- HYDRANT
- WATER SHUT-OFF
- UTILITY POLE
- GUY ANCHOR
- LIGHT POLE
- SIGN
- TREE
- TREE LINE
- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- GAS MAIN
- ELECTRIC CABLE

PROPOSED

- MANHOLE
- CATCH BASIN
- INLET
- CLEANOUT
- END SECTION
- ROOF DRAIN
- GATE VALVE
- HYDRANT
- WATER SHUT-OFF
- TREE REMOVAL
- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- GAS MAIN
- DITCH



REVISIONS	DATE	BY	REVISIONS	DATE	BY	REVISIONS	DATE	BY	REVISIONS	DATE	BY
PC REVIEW	6/22/2020										

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SITE UTILITY PLAN
156 N. CENTER STREET
NORTHVILLE, MICHIGAN

DATE 3/17/20	SCALE HOR: 1" = 10' VER: 1" = N/A
DESIGNED BY SRB	JOB NO. 19125
DRAWN BY SRB	SHEET S-4

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DUNLAP STREET CONSTRUCTION NOTES:

3. ALL WORK WITHIN THE DUNLAP STREET R.O.W. SHALL BE TO CURRENT CITY OF NORTHVILLE STANDARDS AND SPECIFICATIONS.
2. TRAFFIC CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR.
3. ANY STRUCTURES WITHIN THE PROPOSED WORK AREA SHOULD BE ADJUSTED AND CHANGED AS NEEDED TO MATCH PROPOSED CONDITION. STRUCTURES SHALL BE REPAIRED OR RECONSTRUCTED AS NEEDED.
4. RESTORE ALL DISTURBED NON-PAVED AREAS WITH A MINIMUM 3" TOPSOIL, SEED AND MULCH.
5. MAINTAIN TWO-WAY TRAFFIC AT ALL TIMES.
6. CONTRACTOR SHALL NOT POUR CURBS AND GUTTERS UNTIL FORMS ARE CHECKED AND APPROVED BY THE CITY INSPECTOR.
7. ALL MUD AND DIRT TRACKED ONTO EXISTING ROADS FROM THIS SITE DUE TO CONSTRUCTION SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
8. "PROPER SIGNING" IS REQUIRED BEFORE ANY WORK IN RIGHT-OF-WAY IS STARTED.
9. LANE CLOSURES RESTRICTED TO 9 AM TO 3 PM, MONDAY TO FRIDAY.
10. FIXED OBJECTS SHALL BE A MINIMUM 6 FEET FROM THE BACK OF THE FINISHED CURB LINE. REMOVE OR RELOCATE ALL FIXED OBJECTS PRIOR TO EXCAVATION.
11. ANY PEDESTRIAN FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT AMERICANS WITH DISABILITIES ACT (ADA) GUIDELINES.
12. EXCAVATIONS WITHIN A 1:1 INFLUENCE OF THE ROADWAY WILL REQUIRE MDOT CLASS II BACKFILL COMPACTED TO 95% MAXIMUM DENSITY.
13. MATCH AND TIE PROPOSED CURB TO EXISTING CURB. EPOXY COATED #4 REBAR REQUIRED.

GENERAL SITE NOTES:

1. ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NORTHVILLE STANDARDS AND SPECIFICATIONS.
2. ALL PARKING AND TRAFFIC CONTROL SIGNS SHALL COMPLY WITH THE DESIGN AND PLACEMENT REQUIREMENTS OF THE CURRENT EDITION OF THE "MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MMUTCD).
3. CONTRACTOR SHALL NOTIFY THE CITY OF NORTHVILLE A MINIMUM OF 72 HOURS PRIOR TO THE START OF ANY WORK.
4. CALL MISS DIG (811) A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
5. ALL SOIL EROSION AND SILT MUST BE CONTROLLED AND CONTAINED ON SITE.
6. ALL EXCAVATION UNDER OR WITHIN A 1:1 INFLUENCE OF PAVEMENT, EXISTING OR PROPOSED SHALL BE BACKFILLED AND COMPACTED WITH SAND (MDOT CLASS II MATERIAL).
7. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES, CURBS, WALKS, DRIVES, ETC. AS A RESULT OF HIS OPERATIONS.
8. IF DEWATERING IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO SUBMIT A DEWATERING PLAN TO THE CITY FOR REVIEW.
9. CONTRACTOR SHALL FIELD VERIFY THE LOCATION, DEPTH, AND SIZE OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION AND SHALL NOTIFY THE DESIGN ENGINEER IF ANY CONFLICTS ARE APPARENT.

GRADING NOTES:

3. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF NORTHVILLE.
2. ALL NECESSARY PERMITS, TESTING, BONDS AND INSURANCE ETC., SHALL BE PAID FOR BY THE CONTRACTOR. THE OWNER SHALL PAY FOR ALL THE CITY INSPECTION FEES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING THE PERIODS OF CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO THE JOB.
4. PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT MISS DIG (811) TO VERIFY THE LOCATION OF ANY EXISTING UNDERGROUND UTILITIES AND SHALL NOTIFY OTHER REPRESENTATIVES OF OTHER UTILITIES IN THE VICINITY OF THE WORK.
5. ALL PROPERTIES OR FACILITIES IN THE SURROUNDING AREAS, PUBLIC OR PRIVATE, DESTROYED OR OTHERWISE DISTURBED DUE TO CONSTRUCTION SHALL BE REPLACED AND/OR RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR.
6. MANHOLE, CATCH BASIN, GATE VALVES AND HYDRANT FINISH GRADES MUST BE CLOSELY CHECKED AND APPROVED BY THE ENGINEER BEFORE THE CONTRACTOR'S WORK IS CONSIDERED COMPLETE.
7. CONTRACTOR SHALL REMOVE AND DISPOSE OF OFF-SITE ANY TREES, BRUSH, STUMPS, TRASH OR OTHER UNWANTED DEBRIS AT THE OWNER'S DIRECTION, INCLUDING OLD BUILDING FOUNDATIONS AND FLOORS. BURNING OF TRASH, STUMPS OR OTHER DEBRIS SHALL NOT BE PERMITTED.
8. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADING, LIGHTS AND TRAFFIC CONTROL DEVICES TO PROTECT THE WORK AND SAFELY CONTAIN TRAFFIC IN ACCORDANCE WITH "MMUTCD".
9. ALL EXCAVATIONS SHALL BE SLOPED, SHORED OR BRACED IN ACCORDANCE WITH MI-OSHA REQUIREMENTS. THE CONTRACTOR SHALL PROVIDE AN ADEQUATELY CONSTRUCTED AND BRACED SHORING SYSTEM FOR EMPLOYEES WORKING IN AN EXCAVATION THAT MAY EXPOSE EMPLOYEES TO THE DANGER OF MOVING AROUND.
10. ALL REFERENCES TO M.D.O.T. SPECIFICATIONS ARE TO BE IN ACCORDANCE WITH THE CURRENT STANDARD SPECIFICATIONS FOR CONSTRUCTION.

PAVING NOTES:

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF NORTHVILLE AND M.D.O.T.
2. IN AREAS WHERE NEW PAVEMENTS ARE BEING CONSTRUCTED, THE TOPSOIL AND SOIL CONTAINING ORGANIC MATTER SHALL BE REMOVED PRIOR TO PAVEMENT CONSTRUCTION.
3. SUBGRADE UNDERCUTTING, INCLUDING BACKFILLING SHALL BE PERFORMED TO REPLACE MATERIALS SUSCEPTIBLE TO FROST HEAVING AND UNSTABLE SOIL CONDITIONS. ANY EXCAVATIONS THAT MAY BE REQUIRED BELOW THE TOPSOIL IN FILL SECTIONS OR BELOW SUBGRADE IN CUT SECTIONS, WILL BE CLASSIFIED AS SUBGRADE UNDERCUTTING.
4. SUBGRADE UNDERCUTTING SHALL BE PERFORMED WHERE NECESSARY AND THE EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR. ANY SUBGRADE UNDERCUTTING SHALL BE BACKFILLED WITH SAND OR OTHER SIMILAR APPROVED MATERIAL. BACKFILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM UNIT WEIGHT (PER ASTM D-1557) UNLESS OTHERWISE SPECIFIED.
5. BACKFILL UNDER PAVED AREAS SHALL BE AS SPECIFIED ON DETAILS.
6. ANY SUB-GRADE WATERING REQUIRED TO ACHIEVE REQUIRED DENSITY SHALL BE CONSIDERED INCIDENTAL TO THE JOB.

TRAFFIC SIGNING AND STRIPING REQUIREMENTS:

1. ALL PARKING AND TRAFFIC CONTROL SIGNS SHALL COMPLY WITH THE DESIGN AND PLACEMENT REQUIREMENTS OF THE CURRENT EDITION OF THE "MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MMUTCD).
2. SIGNS SHALL BE MOUNTED ON 1 1/2" SQUARE GALVANIZED STEEL POST, WALL, OR FENCE AS NOTED ON THE PLANS.
3. STRIPING FOR HANDICAPPED (BARRIER FREE) PARKING SPACES SHALL BE BLUE AND MARKINGS FOR NON-HANDICAPPED (STANDARD) PARKING SPACES SHALL BE WHITE. WHERE A HANDICAPPED PARKING SPACE ABUTS A NON-HANDICAPPED PARKING SPACE, THE TWO SPACES SHALL BE SEPARATED BY ABUTTING BLUE AND WHITE STRIPES.
4. EACH INTERNATIONAL SYMBOL OF ACCESSIBILITY (WHEELCHAIR) TO BE PAINTED ON THE PAVEMENT SHALL BE WHITE.

GENERAL LAYOUT NOTES:

1. PLACE 1/2" EXPANSION PAPER AT ALL LOCATIONS WHERE NEW CONCRETE WALK ABUTS OR MEETS BUILDINGS, CONCRETE CURBS, EXISTING SIDEWALKS, AND RETAINING WALLS.
2. INSTALL EXPANSION JOINTS IN CONCRETE WALKS AS FOLLOWS:
 - 6' WD. SIDEWALK - 18' O.C. TYP.
 - 5' WD. SIDEWALK - 20' O.C. TYP.
 - 4' WD. SIDEWALK - 20' O.C. TYP.
 - 3' WD. SIDEWALK - 18' O.C. TYP.SEAL ALL EXPANSION JOINTS.
3. INSTALL CONTROL JOINTS IN CONCRETE WALKS AS FOLLOWS:
 - 6' WD. SIDEWALK - 6'X6' PANEL
 - 5' WD. SIDEWALK - 5'X5' PANEL
 - 4' WD. SIDEWALK - 4'X4' PANEL
 - 3' WD. SIDEWALK - 3'X3' PANELALL CONTROL JOINTS SHALL BE 1/4" WIDE AND SAWCUT TO 2" DEEP.
4. ALL CONCRETE WALKS SHALL BE BROOM FINISHED PARALLEL TO JOINTS.

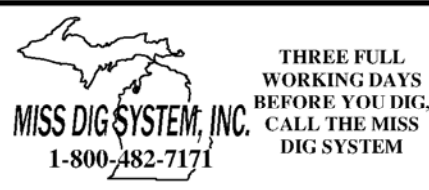
CONSTRUCTION NOTES:

1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING SURVEY INFORMATION INCLUDING UTILITY SYSTEMS BEFORE ANY DEMOLITION OR CONSTRUCTION WORK OCCURS. ANY DISCREPANCIES WITH THE SURVEY INFORMATION SHALL BE REPORTED TO THE CITY'S REPRESENTATIVE IMMEDIATELY.
2. CONTRACTOR SHALL CONTACT AND COORDINATE WITH ALL APPLICABLE UTILITY COMPANIES 72 HOURS IN ADVANCE OF ANY WORK.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR COST INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES.
4. ALL EXISTING CONDITIONS DESIGNATED TO REMAIN WITHIN THE NEW CONSTRUCTION AREA (INCLUDING MAILBOXES) SHALL BE PROPERLY AND ADEQUATELY PROTECTED FROM DAMAGE DURING DEMOLITION OPERATIONS AND THROUGHOUT CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RESTORE TO THE ORIGINAL CONDITION ANY OF THESE EXISTING ITEMS THAT ARE DAMAGED OR DISTURBED IN ANY WAY.
5. CONTRACTOR SHALL LIMIT ALL WORK AND DISTURBANCE TO WITHIN DESIGNATED PROJECT AREAS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RESTORE TO THE ORIGINAL CONDITION ANY DAMAGE OR DISTURBANCE OUTSIDE THESE LIMITS.
6. STREETS, SIDEWALKS AND ADJACENT PROPERTY SHALL BE PROTECTED THROUGHOUT THE WORK AS REQUIRED BY LOCAL CODES AND REGULATIONS AND APPROVED BY THE CITY.
7. ALL MATERIAL SPECIFIED TO BE REMOVED BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF-SITE PER APPLICABLE CODES AND REGULATIONS EXCEPT THAT PRIOR TO DISPOSAL OF ANY CASTINGS, SIGNS, OR POSTS THEY SHALL BE MADE AVAILABLE TO THE CITY OF NORTHBVILLE FOR THE CITY'S SALVAGE YARD.
8. DURING DEMOLITION OPERATIONS EVERY EFFORT SHALL BE MADE TO CONTROL DUST, PER CITY REQUIREMENTS.
10. DURING CONSTRUCTION THE CONTRACTOR SHALL PROVIDE WATCHMEN AND FLAGMEN AS MAY BE REQUIRED FOR THE SAFETY AND CONVENIENCE OF THE PUBLIC AND SHALL FURNISH ALL BARRICADES, SIGNS, AND LIGHTS NECESSARY TO PROTECT THE PUBLIC. TRAFFIC SHALL BE MAINTAINED AT ALL TIMES UNLESS OTHERWISE AUTHORIZED BY THE CITY OF NORTHBVILLE. TRAFFIC CONTROL SHALL BE ACCORDING TO THE MICHIGAN MANUAL OF TRAFFIC CONTROL DEVICES, CURRENT EDITION BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION.

GENERAL SITE NOTES:

1. ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NORTHVILLE STANDARDS AND SPECIFICATIONS.
2. ALL NECESSARY PERMITS, TESTING, BONDS AND INSURANCE ETC., SHALL BE PAID FOR BY THE CONTRACTOR. THE OWNER SHALL PAY FOR ALL THE CITY INSPECTION FEES.
3. CONTRACTOR SHALL NOTIFY THE CITY OF NORTHVILLE A MINIMUM OF 72 HOURS PRIOR TO THE START OF ANY WORK.
4. CALL MISS DIG (811) A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
5. ALL SOIL EROSION AND SILT MUST BE CONTROLLED AND CONTAINED ON SITE.
6. ALL EXCAVATION UNDER OR WITHIN A 1:1 INFLUENCE OF PAVEMENT, EXISTING OR PROPOSED SHALL BE BACKFILLED AND COMPACTED WITH SAND (MDOT CLASS II MATERIAL).
7. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES, CURBS, WALKS, DRIVES, ETC. AS A RESULT OF HIS OPERATIONS.
8. IF DEWATERING IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO SUBMIT A DEWATERING PLAN TO THE CITY FOR REVIEW.
9. CONTRACTOR SHALL FIELD VERIFY THE LOCATION, DEPTH, AND SIZE OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION AND SHALL NOTIFY THE DESIGN ENGINEER IF ANY CONFLICTS ARE APPARENT.

REVISIONS			DATE	BY	REVISIONS			DATE	BY	REVISIONS			DATE	BY
PC REVIEW			6/22/2020											



PROJECT SPONSOR:
M ARCHITECTS
114 RAYSON ST., STE. 20
NORTHVILLE, MI 48167

248.349.2708

NOTES AND DETAILS
156 N. CENTER STREET
NORTHVILLE, MICHIGAN

FIELD BOOK	DATE 3/17/20	SCALE HOR: 1" = N/A VER: 1" = N/A	© COPYRIGHT 2020
	DESIGNED BY SRB	JOB NO. 19125	
	DRAWN BY SRB	SHEET S-5	



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EXISTING LOOKING SOUTHEAST

IMAGE NUMBER
E-6.0



EXISTING LOOKING WEST

IMAGE NUMBER
E-3.0



EXISTING LOOKING SOUTHEAST

IMAGE NUMBER
E-8.0



EXISTING LOOKING SOUTH

IMAGE NUMBER
E-5.0



EXISTING LOOKING SOUTHWEST

IMAGE NUMBER
E-2.0



EXISTING LOOKING EAST

IMAGE NUMBER
E-7.0



EXISTING LOOKING NORTHEAST

IMAGE NUMBER
E-4.0



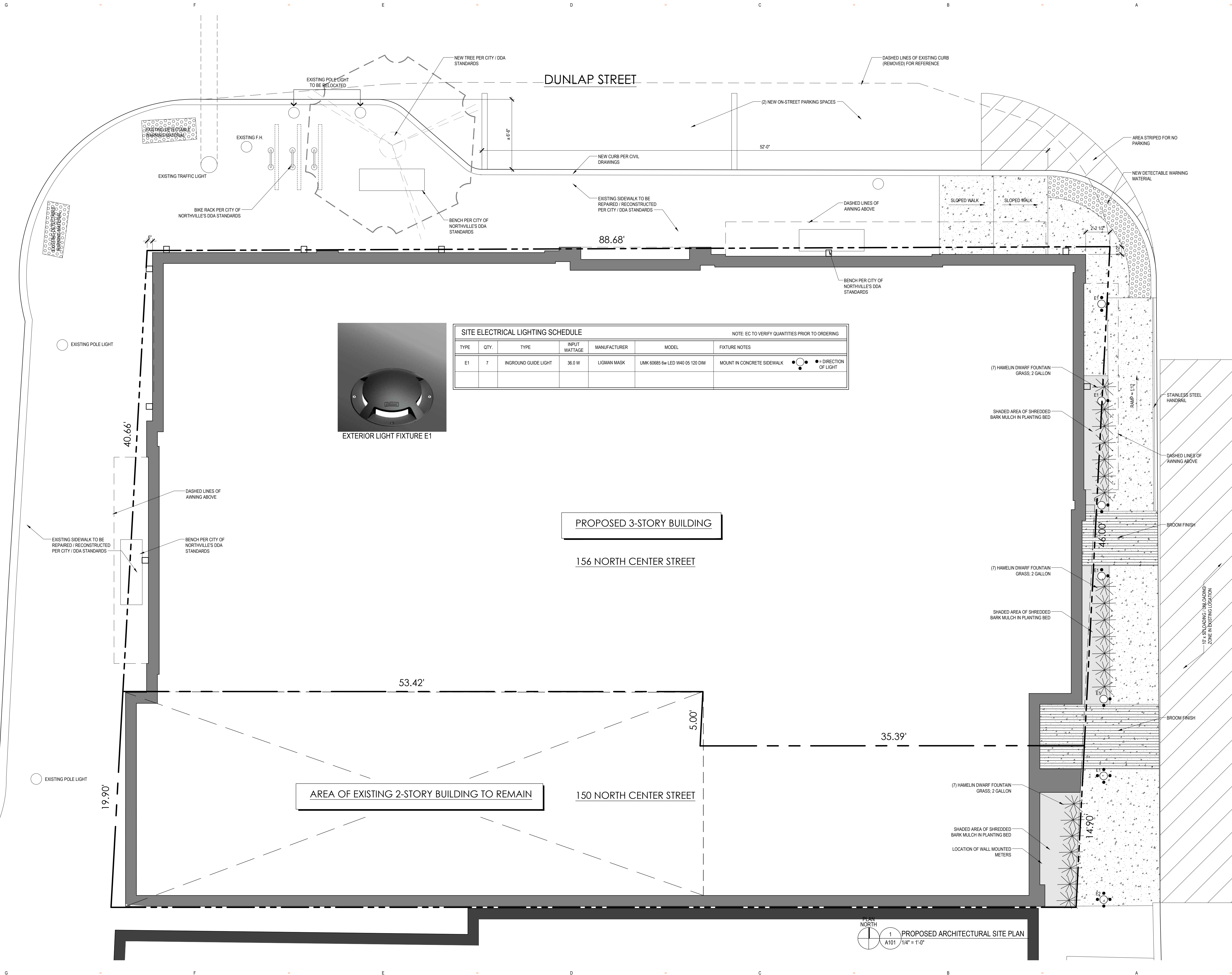
EXISTING LOOKING NORTHWEST

IMAGE NUMBER
E-1.0

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NORTH CENTER STREET



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PROJECT

NEW BUILDING AND BUILDING ADDITION at
150 / 156 North Center Street
Northville, MI 481467

PROJECT ADDRESS

150 / 156 North Center Street
Northville, MI 48167

PROJECT NUMBER

19.18

SHEET NAME

PROPOSED ARCHITECTURAL SITE PLAN

SHEET NUMBER

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NORTH CENTER STREET

DUNLAP STREET

41'-0" OVERALL NEW BUILDING DIMENSION

86'-6" OVERALL NEW BUILDING DIMENSION

LOADING / UNLOADING ZONE
AND RESTAURANT DROP-OFF

DASHED LINES OF
AWNING ABOVE

OUTDOOR SEATING

ENTRY

DINING

HOST

BAR

KITCHEN

DINING

STAIR

ELEV.

LOBBY

CORRIDOR

ENTRY

DASHED LINES OF
CANOPY ABOVE

EXISTING DINING

EXISTING DOOR TO BE
REPLACED WITH NEW
WOOD DOOR WITH FULL,
CLEAR GLASS LITE

UP

EXISTING BUILDING GAP

OUTLINE OF EXISTING ROOF



1
A102
1/4" = 1'-0"

FIRST LEVEL FLOOR PLAN

STAINLESS STEEL
HANDRAIL

DASHED LINES OF
AWNING ABOVE

ISSUE DATE		
05-10-2020	P.C. REVIEW	
05-17-2020	H.D.C. REVIEW	
06-22-2020	P.C. REVIEW	

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Northville, MI 48167

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19.18

SHEET NAME

FIRST LEVEL FLOOR PLAN

SHEET NUMBER

A102

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06-22-2020	P.C. REVIEW	

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PROJECT
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PROJECT NUMBER
19.18

SHEET NAME
SECOND LEVEL FLOOR PLAN

SHEET NUMBER

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PROJECT
NEW BUILDING AND
BUILDING ADDITION
at
150 / 156 North Center Street
Northville, MI 48147

PROJECT ADDRESS
150 / 156 North Center Street
Northville, MI 48167

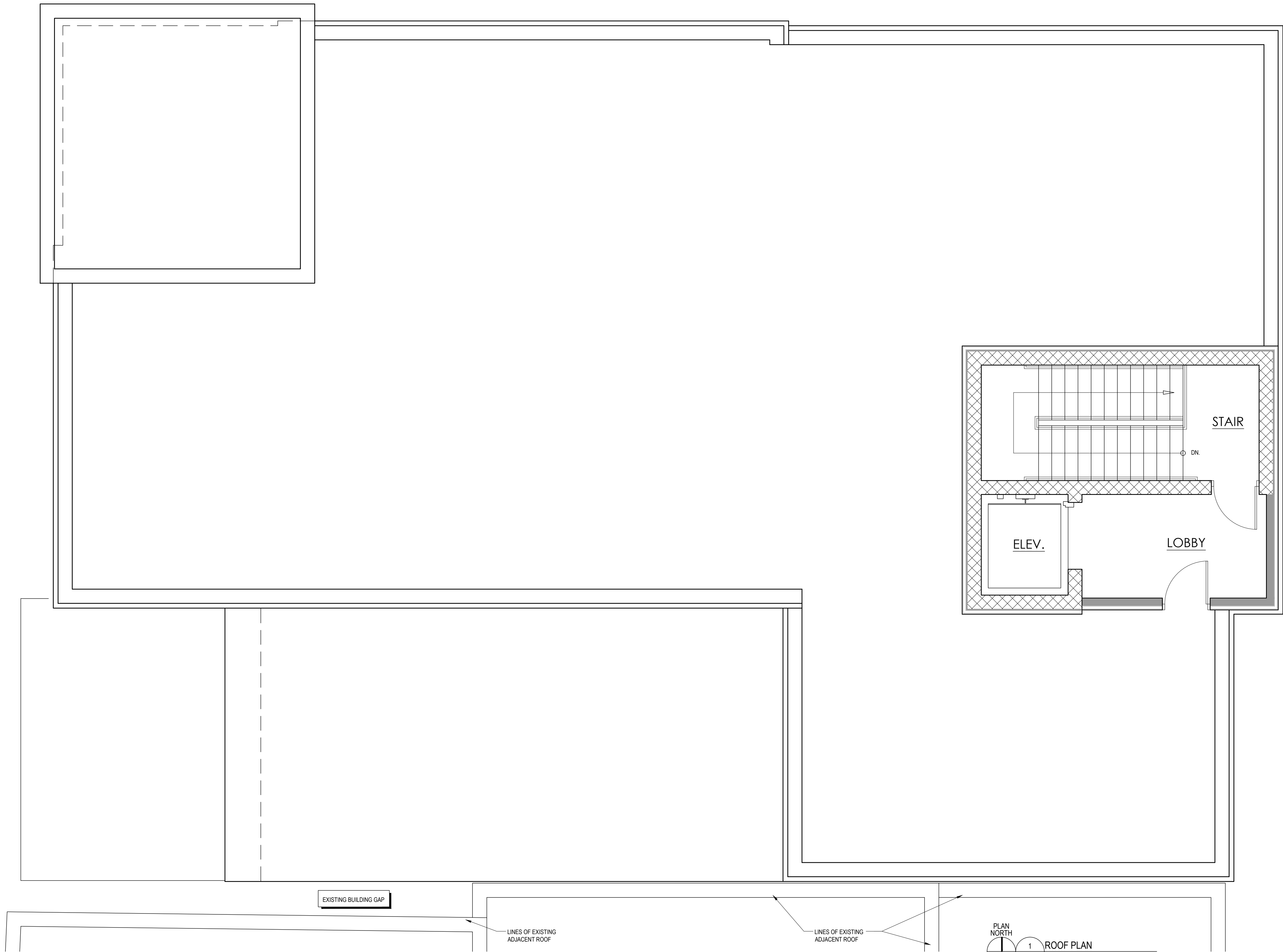
PROJECT NUMBER
19.18

SHEET NAME
THIRD LEVEL FLOOR PLAN

SHEET NUMBER

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I S S U E		D A T E	
05-10-2020	P.C. REVIEW		
05-17-2020	H.D.C. REVIEW		
06-22-2020	P.C. REVIEW		

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P R O J E C T

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P R O J E C T A D D R E S S

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Northville, MI 48167

P R O J E C T N U M B E R

19.18

S H E E T N A M E

ROOF PLAN

S H E E T N U M B E R

A105

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PROJECT

NEW BUILDING AND
BUILDING ADDITION
at
150 / 156 North Center Street
Northville, MI 481467

PROJECT ADDRESS

150 / 156 North Center Street
Northville, MI 48167

PROJECT NUMBER

19.18

SHEET NAME

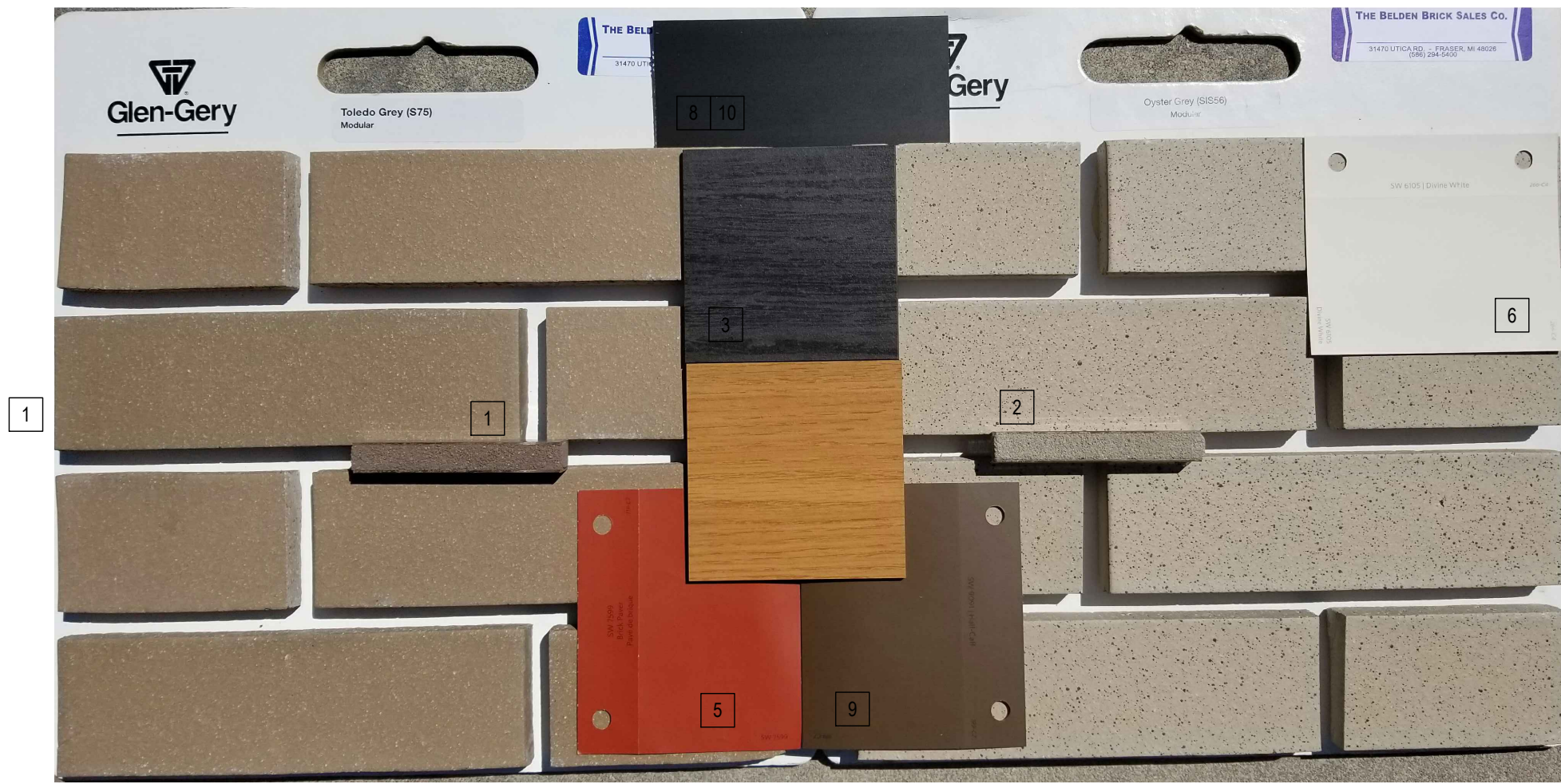
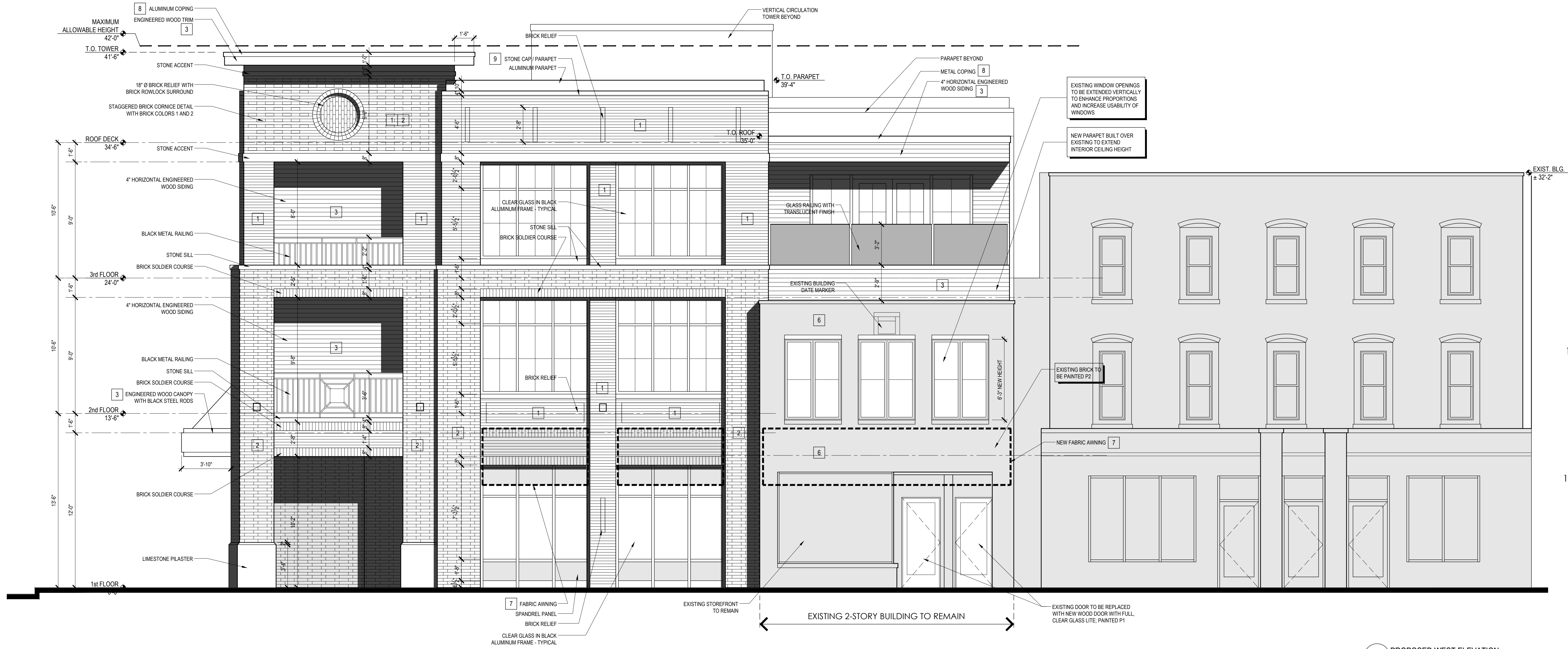
EXISTING EXTERIOR
ELEVATIONS

SHEET NUMBER

A301

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MATERIAL INFORMATION	
1	BRICK 1: GLEN-GERY BRICK TOLEDO GREY S75 MODULAR GROUT 1: SOLOMON DEEP BROWN 37X
2	BRICK 2: GLEN-GERY OYSTER GREY S156 MODULAR GROUT 2: SOLOMON LIGHT BUFF 10X
3	ENGINEERED WOOD 1: SIMILAR TO TRESPA METEON SLATE WOOD NW22ST
4	ENGINEERED WOOD 2: SIMILAR TO TRESPA METEON HARMONY OAK NW03
5	PAINT 1: SHERWIN WILLIAMS SW7599 BRICK PAVER
6	PAINT 2: SHERWIN WILLIAMS SW6105 DIVINE WHITE
7	FABRIC AWNING: MATCH PAINT 1
8	ALUMINUM COPING 1: SIMILAR TO PAC-GLAD: MATTE BLACK
9	ALUMINUM COPING 2: SIMILAR TO SHERWIN WILLIAMS: SW9091 HALF-CAFF
10	WINDOW FRAMES: ANODIZED BLACK

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PROJECT
NEW BUILDING AND
BUILDING ADDITION
at
150 / 156 North Center Street
Northville, MI 481467

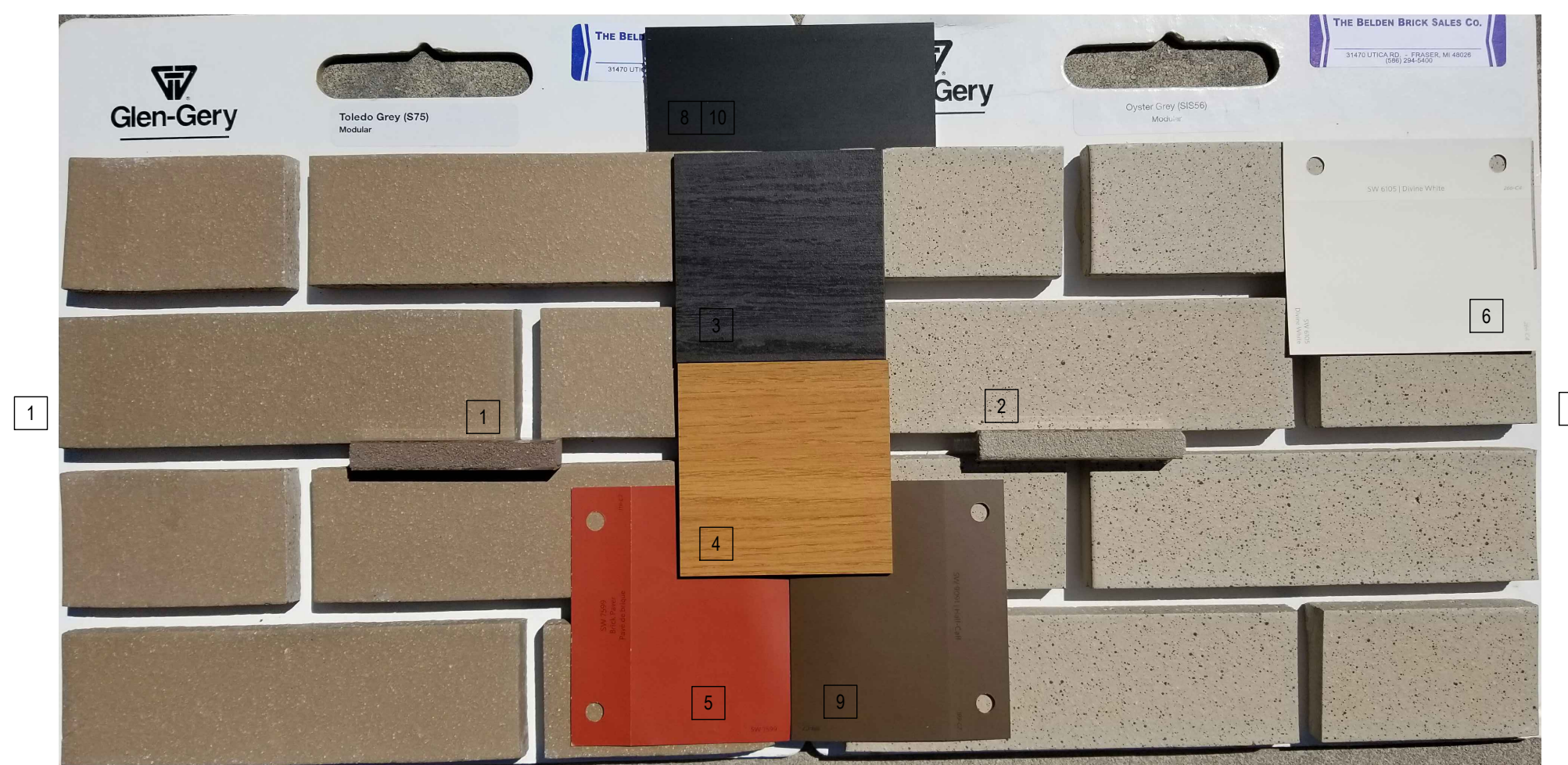
PROJECT ADDRESS
150 / 156 North Center Street
Northville, MI 481467

PROJECT NUMBER
19.18

SHEET NAME
PROPOSED EXTERIOR
ELEVATIONS

SHEET NUMBER

A302



MATERIAL LEGEND
NOT TO SCALE

MATERIAL INFORMATION

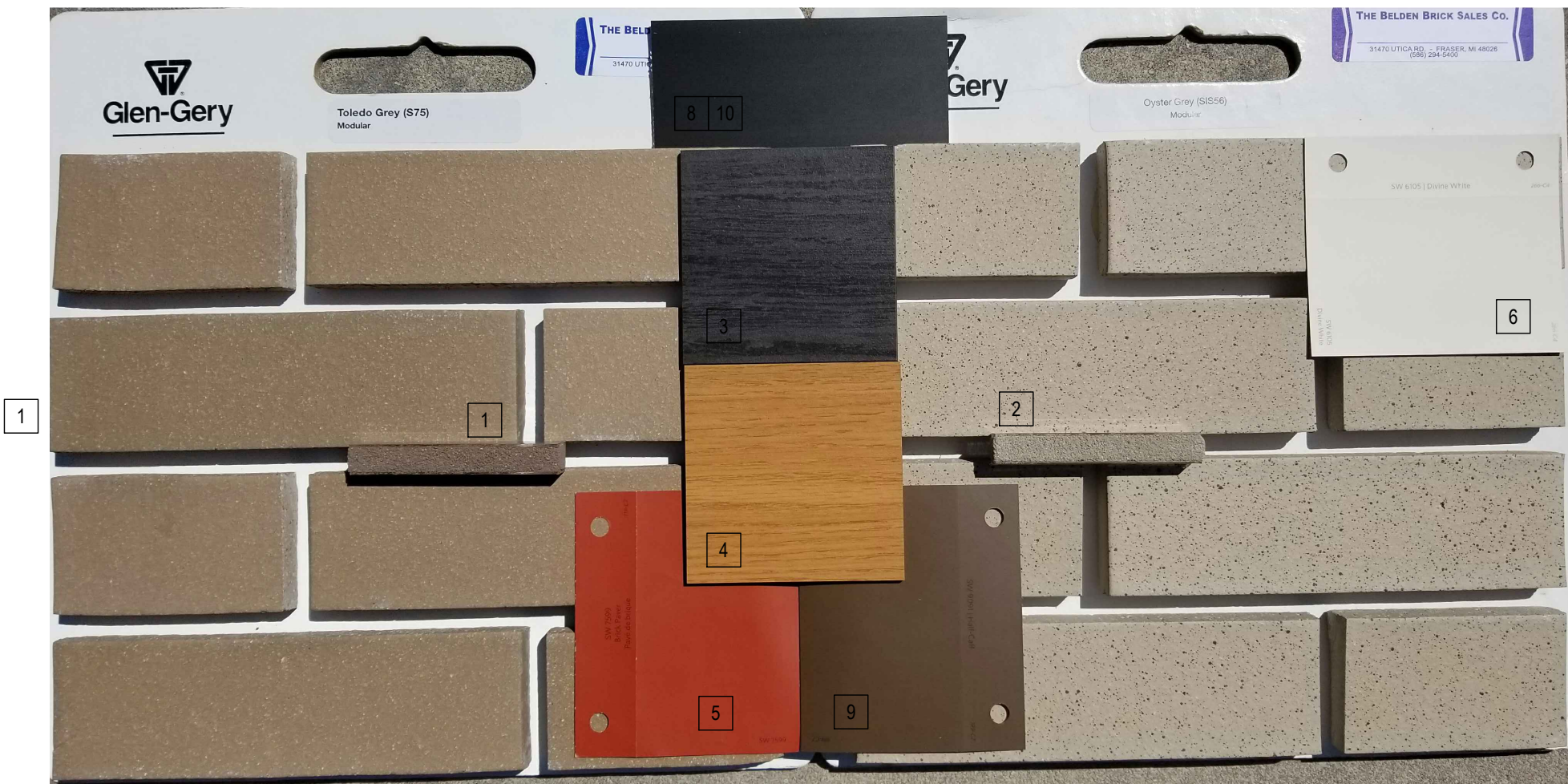
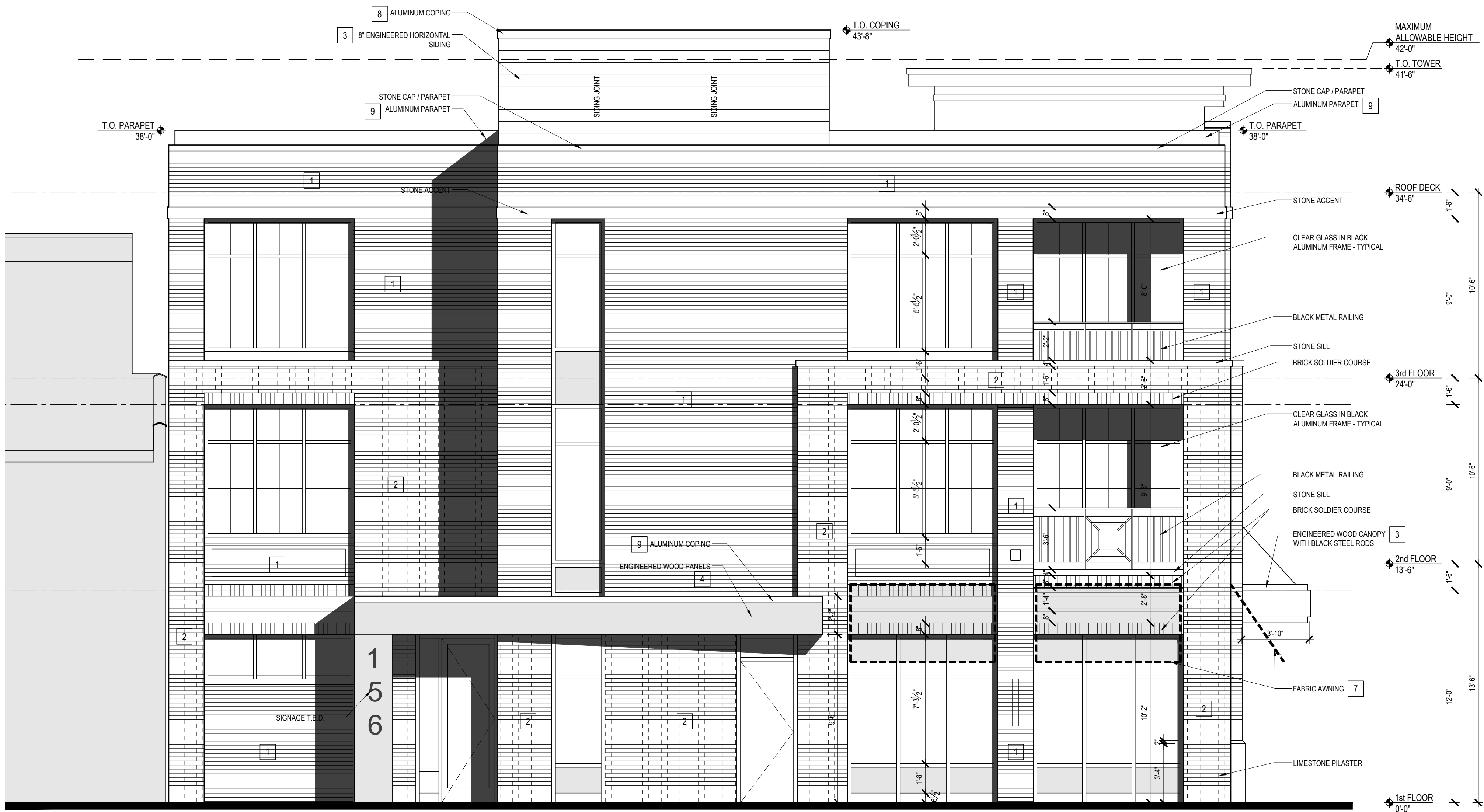
1	BRICK 1: GROUT 1:	GLEN-GERY BRICK TOLEDO GRY S75 MODULAR; SLOMONOM DEEP BROWN 37X
2	BRICK 2: GROUT 2:	GLEN-GERY OYSTER GRY S155 MODULAR; SLOMONOM LIGHT BUFF 10X
3	ENGINEERED WOOD 1:	SIMILAR TO TRESPA METEON SLATE WOOD NW23/5
4	ENGINEERED WOOD 2:	SIMILAR TO TRESPA METEON HARMONY OAK NW03
5	PAIN 1:	SHERWIN WILLIAMS SW7599 BRICK PAVER
6	PAIN 2:	SHERWIN WILLIAMS SW6105 DIVINE WHITE
7	FABRIC AWNING:	MATCH PAINT 1
8	ALUMINUM COPING 1:	SIMILAR TO PAC-CLAD; MATTE BLACK
9	ALUMINUM COPING 2:	SIMILAR TO SHERWIN WILLIAMS SW6591 HALF-CAFT
10	WINDOW FRAMES:	ANODIZED BLACK



1 PROPOSED NORTH ELEVATION
A303 1/4" = 1'-0"

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MATERIAL INFORMATION	
1	BRICK 1: GLEN-GERY BRICK TOLEDO GREY S75 MODULAR GROUT 1: SOLOMON DEEP BROWN 37X
2	BRICK 2: GLEN-GERY OYSTER GREY S156 MODULAR GROUT 2: SOLOMON LIGHT BUFF 10X
3	ENGINEERED WOOD 1: SIMILAR TO TRESPA METEON SLATE WOOD NW22/ST
4	ENGINEERED WOOD 2: SIMILAR TO TRESPA METEON HARMONY OAK NW03
5	PAINT 1: SHERWIN WILLIAMS SW7599 BRICK PAVER
6	PAINT 2: SHERWIN WILLIAMS SW6105 DIVINE WHITE
7	FABRIC AWNING: MATCH PAINT 1
8	ALUMINUM COPING 1: SIMILAR TO PAC-GLAD: MATTE BLACK
9	ALUMINUM COPING 2: SIMILAR TO SHERWIN WILLIAMS SW9091 HALF-CAFF
10	WINDOW FRAMES: ANODIZED BLACK

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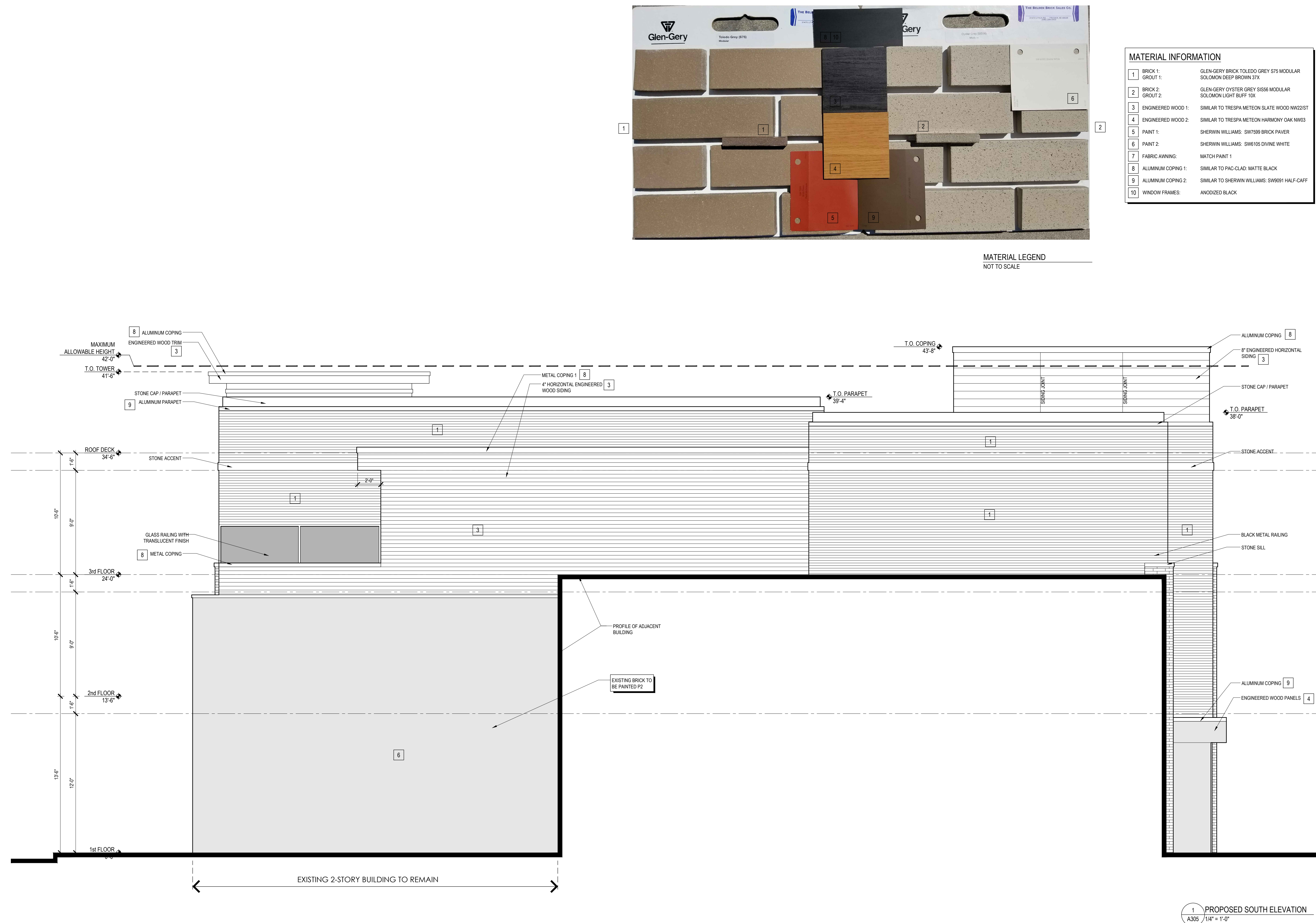
PROJECT
NEW BUILDING AND
BUILDING ADDITION
at
150 / 156 North Center Street
Northville, MI 481467

PROJECT ADDRESS
150 / 156 North Center Street
Northville, MI 48167

PROJECT NUMBER
19.18

SHEET NAME
PROPOSED EXTERIOR
ELEVATIONS

SHEET NUMBER



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2 VIEW LOOKING SOUTHEAST
A306 NOT TO SCALE



3 VIEW LOOKING NORTH
A306 NOT TO SCALE



1 VIEW LOOKING NORTHEAST
A306 NOT TO SCALE

ISSUE DATE

05-10-2020 P.C. REVIEW
05-17-2020 H.D.C. REVIEW
06-22-2020 F.C. REVIEW

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PROJECT

NEW BUILDING AND
BUILDING ADDITION
at
150 / 156 North Center Street
Northville, MI 481467

PROJECT ADDRESS

150 / 156 North Center Street
Northville, MI 48167

PROJECT NUMBER

19.18

SHEET NAME

RENDERINGS

SHEET NUMBER

A306

Act No. 124
 Public Acts of 2020
 Approved by the Governor
 July 1, 2020
 Filed with the Secretary of State
 July 1, 2020
 EFFECTIVE DATE: July 1, 2020

**STATE OF MICHIGAN
 100TH LEGISLATURE
 REGULAR SESSION OF 2020**

Introduced by Reps. Webber, Sabo, Steven Johnson, Bollin, Slagh, Rendon, Paquette, Crawford, Hall, Huizenga, Kahle, Lightner, Meerman, Hood, Elder, Leutheuser and Reilly

ENROLLED HOUSE BILL No. 5781

AN ACT to amend 1998 PA 58, entitled “An act to create a commission for the control of the alcoholic beverage traffic within this state, and to prescribe its powers, duties, and limitations; to provide for powers and duties for certain state departments and agencies; to impose certain taxes for certain purposes; to provide for the control of the alcoholic liquor traffic within this state and to provide for the power to establish state liquor stores; to prohibit the use of certain devices for the dispensing of alcoholic vapor; to provide for the care and treatment of alcoholics; to provide for the incorporation of farmer cooperative wineries and the granting of certain rights and privileges to those cooperatives; to provide for the licensing and taxation of activities regulated under this act and the disposition of the money received under this act; to prescribe liability for retail licensees under certain circumstances and to require security for that liability; to provide procedures, defenses, and remedies regarding violations of this act; to provide for the enforcement and to prescribe penalties for violations of this act; to provide for allocation of certain funds for certain purposes; to provide for the confiscation and disposition of property seized under this act; to provide referenda under certain circumstances; and to repeal acts and parts of acts,” by amending section 1021 (MCL 436.2021), as amended by 2013 PA 235, and by adding section 551.

The People of the State of Michigan enact:

Sec. 551. (1) The governing body of a local governmental unit may designate a social district that contains a commons area that may be used by qualified licensees that obtain a social district permit. A governing body of a local governmental unit shall not designate a social district that would close a road unless the governing body receives prior approval from the road authority with jurisdiction over the road. If the governing body of a local governmental unit designates a social district that contains a commons area under this section, the governing body must define and clearly mark the commons area with signs. The governing body shall establish local management and maintenance plans, including, but not limited to, hours of operation, for a commons area and submit those plans to the commission. The governing body shall maintain the commons area in a manner that protects the health and safety of the community. Subject to this subsection, the governing body may revoke the designation if it determines that the commons area threatens the health, safety, or welfare of the public or has become a public nuisance. Before revoking the designation, the governing body must hold at least 1 public hearing on the proposed revocation. The governing body shall give notice as required under the open meetings act, 1976 PA 267, MCL 15.261 to 15.275, of the time and place of the public hearing before the public hearing. The governing body shall file the designation or the revocation of the designation with the commission. As used in this subsection:

(a) “Local road agency” means a county road commission or designated county road agency or city or village that is responsible for the construction or maintenance of public roads within this state.

(b) “Road authority” means a local road agency or the state transportation department.

(2) Subject to subsection (3), the holder of a social district permit may sell alcoholic liquor for consumption within the confines of a commons area if both of the following requirements are met:

(a) The holder of the social district permit only sells and serves alcoholic liquor on the holder's licensed premises.

(b) The holder of the social district permit only serves alcoholic liquor to be consumed in the commons area in a container to which all of the following apply:

(i) The container prominently displays the social district permittee's trade name or logo or some other mark that is unique to the social district permittee under the social district permittee's on-premises license.

(ii) The container prominently displays a logo or some other mark that is unique to the commons area.

(iii) The container is not glass.

(iv) The container has a liquid capacity that does not exceed 16 ounces.

(3) If the commission issues a special license to a special licensee located in a social district, the holder of a social district permit shall not sell and serve alcoholic liquor under subsection (2) during the effective period of the special license.

(4) A purchaser may remove a container of alcoholic liquor sold by a holder of a social district permit under subsection (2) from the social district permittee's licensed premises if both of the following conditions are met:

(a) Except as otherwise provided in subdivision (b), the purchaser does not remove the container from the commons area.

(b) While possessing the container, the purchaser does not enter the licensed premises of a social district permittee other than the social district permittee from which the purchaser purchased the container.

(5) The consumption of alcoholic liquor from a container described in subsection (2)(b) in the commons area as allowed under this section may only occur during the legal hours for the sale of alcoholic liquor by the social district permittee.

(6) A qualified licensee whose licensed premises is shared by and contiguous to a commons area in a social district designated by the governing body of a local governmental unit under this section may obtain from the commission an annual social district permit as provided in this section. The social district permit must be issued for the same period and may be renewed in the same manner as the license held by the applicant. The commission shall develop an application for a social district permit and shall charge a fee of \$250.00 for a social district permit. An application for a social district permit must be approved by the governing body of the local governmental unit in which the applicant's place of business is located before the application is submitted to the commission and before the permit is granted by the commission. The \$250.00 permit fee under this subsection must be deposited into the liquor control enforcement and license investigation revolving fund under section 543(9).

(7) This section does not apply after December 31, 2024.

(8) As used in this section:

(a) "Commons area" means an area within a social district clearly designated and clearly marked by the governing body of the local governmental unit that is shared by and contiguous to the premises of at least 2 other qualified licensees. Commons area does not include the licensed premises of any qualified licensee.

(b) "Local governmental unit" means a city, township, village, or charter authority.

(c) "Qualified licensee" means any of the following:

(i) A retailer that holds a license, other than a special license, to sell alcoholic liquor for consumption on the licensed premises.

(ii) A manufacturer with an on-premises tasting room permit issued under section 536.

(iii) A manufacturer that holds an off-premises tasting room license issued under section 536.

(iv) A manufacturer that holds a joint off-premises tasting room license issued under section 536.

Sec. 1021. (1) The commission shall not require a licensee to sell or serve food to a purchaser of alcoholic liquor. The commission shall not require a class A hotel or class B hotel to provide food services to registered guests or to the public.

(2) Except as otherwise provided in section 551 and subsection (3), a purchaser shall not remove alcoholic liquor sold by a vendor for consumption on the premises from those premises.

(3) A vendor licensed to sell wine on the premises may allow an individual who has purchased a meal and who has purchased and partially consumed a bottle of wine with the meal, to remove the partially consumed bottle from the premises on departure. This subsection does not allow the removal of any additional unopened bottles of wine unless the vendor is licensed as a specially designated merchant. The licensee or the licensee's clerk, agent, or employee shall cap the bottle or reinsert a cork so that the top of the cork is level with the lip of the bottle. The

transportation or possession of the partially consumed bottle of wine shall be in compliance with section 624a of the Michigan vehicle code, 1949 PA 300, MCL 257.624a.

(4) This act and rules promulgated under this act do not prevent a class A or B hotel designed to attract and accommodate tourists and visitors in a resort area from allowing its invitees or guests to possess or consume, or both, on or about its premises alcoholic liquor purchased by the invitee or guest from an off-premises retailer and does not prevent a guest or invitee from entering and exiting the licensed premises with alcoholic liquor purchased from an off-premises retailer.

(5) Notwithstanding section 901(6), an on-premises licensee may, in a manner as determined by that licensee, allow for the consumption of wine that is produced by a wine maker, a small wine maker, or an out-of-state entity that is the substantial equivalent of a wine maker or small wine maker and that is brought into the licensed premises in its original sealed container by a consumer who is not prohibited under this act from possessing wine. The licensee shall not allow the consumer to remove a partially consumed bottle of wine brought by the consumer unless the licensee or the licensee's clerk, agent, or employee caps the bottle or reinserts the cork so that the top of the cork is level with the lip of the bottle. The licensee may charge a corkage fee for each bottle of wine brought by the consumer and opened on the premises by the licensee or the licensee's clerk, agent, or employee. This subsection does not exempt the licensee or the consumer from any other applicable requirements, responsibilities, or sanctions imposed under this act.

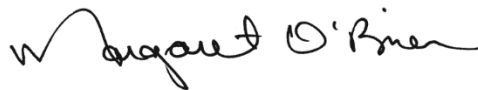
Enacting section 1. This amendatory act does not take effect unless all of the following bills of the 100th Legislature are enacted into law:

- (a) Senate Bill No. 942.
- (b) House Bill No. 5811.

This act is ordered to take immediate effect.



Clerk of the House of Representatives



Secretary of the Senate

Approved _____

Governor

~ Council Communications ~

To: Northville City Council

From: Lori M. Ward, DDA Director

Date: July 20, 2020

Re: Social District

Background:

On July 1, 2020 Governor Whitmer signed into law the HB 5781 – the Social District legislation (Attachment A). The new law is designed to provide some relief to Michigan’s food service industry, which like so many sectors of the economy has been devastated by the pandemic and continues to face challenges with managing safety and financial stability while opening for service. The new law would allow a municipality to establish a “Social District” that would provide licensed permit holders the ability to obtain a permit to sell alcohol to customers for consumption in the commons area of a social district.

The DDA has been participating in zoom meetings on the new law, and speaking with colleagues around the state to determine how other cities intend to implement the law locally. Wayne County has prepared a presentation on social districts that was disseminated to all of the Wayne County communities (Attachment B). Because this is a new law, there are no local examples of best practices. However, the state of Ohio has a program that is very similar to the Social District called the Designated Outdoor Refreshment Area (DORA). Several dozen Ohio cities have established a DORA since the program was implemented in 2015 and information on how these programs were established and the lessons that they have learned has been helpful when discussing the development of a plan for Northville.

Downtown restaurants already participating in the Reopening Plan with expanded outdoor seating have expressed interest in the establishment of a social district. Several of the restaurants have applied for additional outdoor bar licenses; others have expressed an interest in selling street food or providing live music. The establishment of the social district will provide the restaurant owners the ability to serve a drink that could be consumed in the commons area while waiting for a table or taking a drink to go after the meal to help turn tables over more quickly. Additional tables and chairs could be added to the areas currently closed to traffic to provide additional seating that is spread out and socially distanced.



The Defiance Outdoor Refreshment Area (DORA) will launch summer 2019 within 96 acres of the downtown Defiance Central Business District.

The DORA is a designated public area where alcoholic beverages can be purchased in a designated cup from permitted establishments and carried within the district.

Defiance Development and Visitors Bureau (DDVB) pursued the creation of the DORA to add to the vibrancy of downtown Defiance and encourage more community members and visitors to stroll the area. Events and activities will be planned to enhance the existence of the DORA beginning July 2019.

Enjoying the DORA safely and appropriately is very important, so there are a few rules to follow.

1. Hours for the DORA are Monday – Saturday: 12 pm – 12 am.
2. Beverages must be purchased in DORA cups to leave an establishment and cups must stay within the boundaries. Signs will indicate those boundaries.
3. DORA cups are one time use and must be thrown away prior to entering ANY permitted establishment (business that holds a liquor license).
4. **Drink responsibly and have fun!**

A list of permitted establishments, boundaries of the DORA and additional rules and information can be found on the DDVB website; Visit DefianceOhio.com and click the DORA tab.

The process to establish a Social District in Northville requires several steps. First, the Northville City Council would approve the establishment of a social district, commons area within the social district where alcohol can be consumed, and a management and maintenance plan for the district. The management plan would provide information on the hours of operation, responsibilities of each participating entity, signage and communications. The maintenance plan would provide information on how the City of Northville/DDA will maintain the commons area in a way that protects the safety and health of the community. Second, the City of Northville would submit an application to the Michigan Liquor Control Commission (MLCC) to establish a social district and commons area (Attachment C). Third, once the City's application is approved by the MLCC, qualified licensees may then apply to the MLCC for a social district permit to sell alcohol on the license holder's licensed premises for consumption in an established commons area (Attachment D). At least 2 qualified licensees must have their licensed premises contiguous to the commons area.

Analysis:

These past few months as the social district legislation was being deliberated in Lansing, DDA staff began to discuss with local business owner and City staff, how the establishment of a social district might be utilized as an economic development tool and benefit the community. A meeting was held in early July with several city staff members to discuss the impact of implementing the law locally. Each staff member provided a unique perspective on how the establishment of a social district would impact the safety, health, and welfare of the community. Many of the issues regarding the maintenance of the area were already discussed and remedied when the City approved the Reopening Plan for Downtown earlier this summer. The main issue that was identified specific to the establishment of a social district was how the City and DDA would monitor or patrol the commons area to ensure that alcohol does not leave the delineated area. The new law does not contain any language requiring additional enforcement of the commons area and leaves the responsibility up to the local municipality to determine the level, if any, of additional support needed. In the past, additional security has been required when alcohol is served at a special event where there are thousands of people present. While a special event application was submitted to accommodate the Reopening Downtown Plan, the expanded outdoor dining areas are not drawing thousands of people, in fact they are drawing less than a normal day of operations in a non-Covid 19 year due to reduced capacity and social distancing requirements mandated by the State.



boundaries of the commons area sufficiently. The new law requires the commons area to be clearly identified through signage.

In a zoom meeting on July 9th, Sullivan and Ward spoke to Craig Manser of MMRMA, the City's municipal risk managers to determine what, if any, additional insurance would be required. Manser stated that the City already has coverage for alcohol related claims. In addition, Manser was confirmed that the insurance purchased by the DDA for the Reopening Downtown special event scheduled through October would be sufficient. Manser also stated that he did not think security was necessary if the City posted the

While the DDA Board is recommending the use of signage and already scheduled police patrol to monitor the commons area, included in this Communications is a table showing the cost of various options utilizing private security prepared by Councilmember Moroski-Browne (Attachment E). The table shows the cost of utilizing 1 – 10 security guards for 5 hours a day and for a range of days per week.

Budget:

The DDA has spent roughly \$25,000 on items that were required in response to the reopening plan for Downtown Northville. These items include hiring additional seasonal staff, the purchase of additional tables, chairs, umbrellas for Old Church Square, purchase of additional trash receptacles, signage, event insurance, and music for the district (Attachment F).

Recommendation:

At the DDA's July Board of Directors meeting the DDA Board discussed the establishment of a social district for Northville and voted unanimously to recommend that the Northville City Council establish a social district and move forward with development of an application to submit to the MLCC. In addition, the DDA Board voted to recommend that enforcement of the boundaries of the social district and commons area be achieved through a signage program notifying patrons when they are leaving the commons area and Police Department personnel already scheduled on patrol. The DDA urged the City Council to review this policy of enforcement frequently to determine if changes need to be made or additional enforcement added.

Recommended Motion:

Motion to support the establishment of a social district for Downtown Northville and request that the DDA return to the City Council with an MLCC Social District Application which includes a maintenance and management plan for the district utilizing signage and on duty Police officers to enforce the district boundaries.

City of Northville Master Plan Review/Revision

9th Update from the

Subcommittee on Public Engagement

July 21, 2020 (Virtual Meeting)

Charge to the Subcommittee

- May review all aspects of public input regarding the amendments to the City's Master Plan, including surveys, workshops, focus groups, and similar events or techniques
- May meet with the City's planning consultant
- Advisory capacity only; no decision-making authority
- Shall provide its written recommendation to the full Planning Commission which reserves the right to accept, reject, or modify any of the recommendations

Subcommittee Members

- Commissioner Thomas Barry
- Commissioner Jeffrey Gaines
- Commissioner Andrew Krenz
- Commissioner Donna Tinberg

Public Engagement Process

Updates since 6/16/2020

Phase 1:
**Informational
Seminars**

- Online video format

Target: May-June

Phase 2:
Public Input

- Survey #1
- Open House(s)
- Survey #2

Target: June-September

Phase 3:
**Preliminary
Planning**

- Review input
- Draft language

Target: September-October

Phase 4:
Implementation

- Finalize language
- City Council sends draft to neighboring communities
- Formal public hearing

Target: November-December

Recent Subcommittee Activities

- Survey #1
 - Email blasts in the week of 7/13/20 should reach more than 3000 inboxes
 - Posts on Facebook, Next Door
 - Highlighted in City News
 - Survey closing 7/31/20
- Community Visioning Activities in August
- Survey #2 will follow

Anticipated Ongoing Subcommittee Work

- Continue to work with City Manager and Planning Consultant regarding:
 - Community Visioning activity
 - Survey #1 conclusion and results
 - Survey #2 development
 - Ongoing impact of public health situation on this process
- Updates to be provided to the Planning Commission at regular meetings
- Public comment opportunity at every PC meeting

Comments/Questions/Feedback from the Planning Commission